

A

CONGRESS HEIGHTS METRO

SOUTHEAST, WASHINGTON, DC

CONSOLIDATED PUD APPLICATION

CLIENT
SQUARE 5914, LLC

LAND USE COUNSEL
GOULSTON & STORRS, LLP

ARCHITECT
MAURICE WALTERS ARCHITECT, PC

LANDSCAPE ARCHITECT / CIVIL ENGINEER
WILES MENSCH CORPORATION

TRAFFIC CONSULTANT
WELLS + ASSOCIATES



PUS SUBMISSION

APRIL 25, 2013

ARCHITECTURAL

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LANDSCAPE

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CIVIL

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Aerial Map



A



B



C



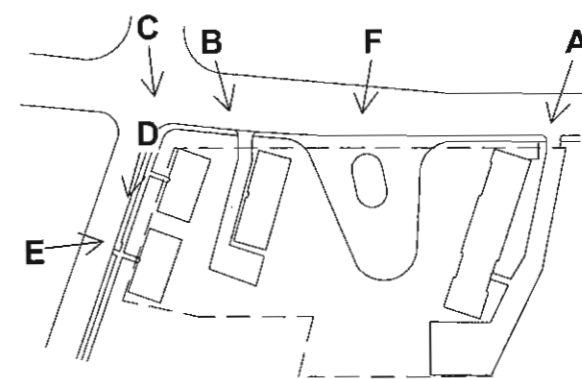
D



E



F



Site Photos

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WASHINGTON HEBREW CONGREGATION CEMETERY



MALCOLM X ELEMENTARY SCHOOL



METRO TRANSPORTATION PARK



ADJACENT PROPERTY (WEST)



ADJACENT PROPERTY (SOUTH)



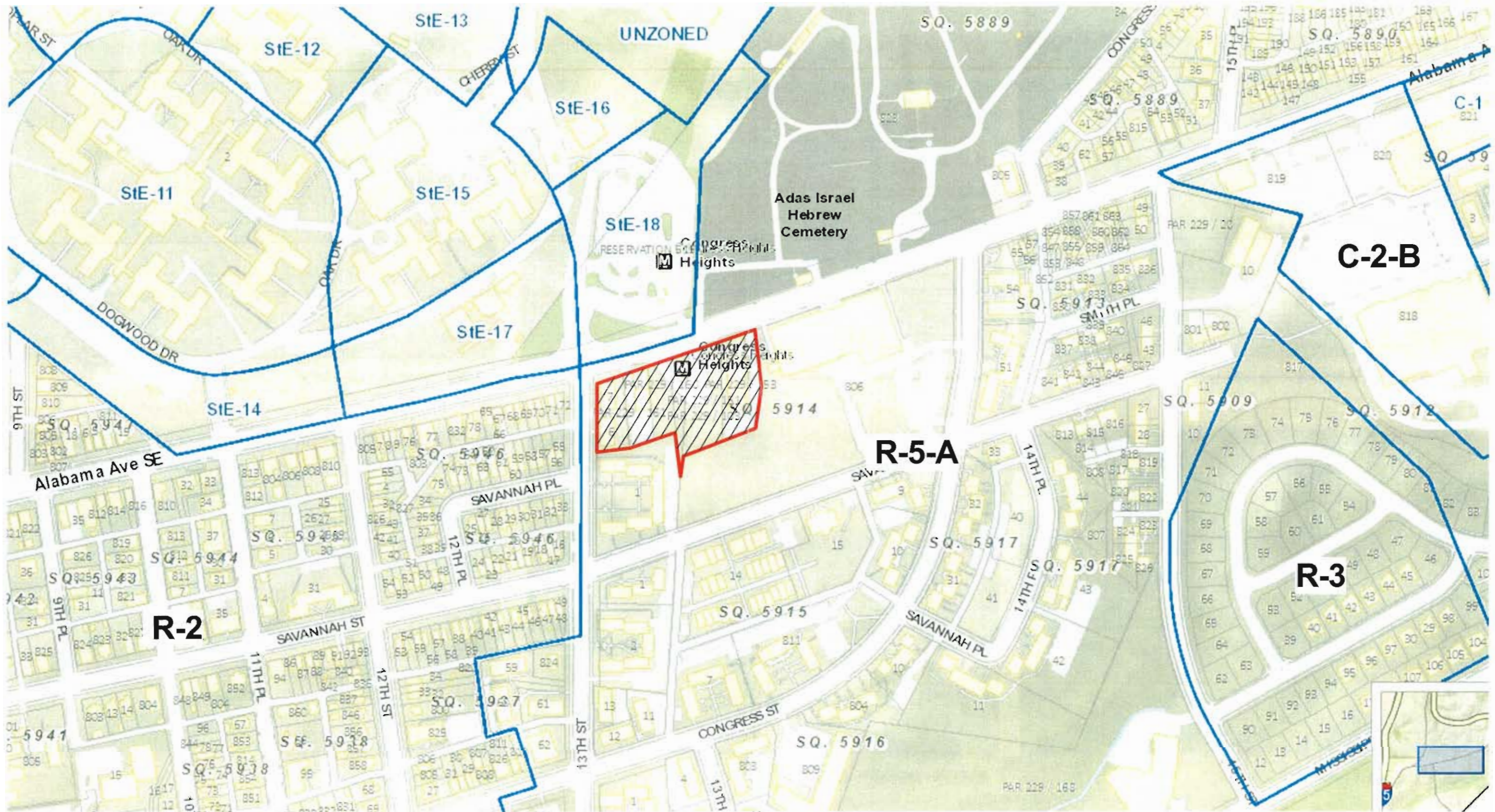
SHOPS AT PARK VILLAGE


Context Photos

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 PROPOSED C-3-B ZONE DISTRICT

Zoning Map - Existing and Proposed

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Congress Heights Office Building

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 Maurice Walters Architect, PC
 Preliminary Zoning Summary of Proposed PUD Rezoning to C-3-B
 Existing Zoning R-5-A

4/25/2013

	<u>C-3-B PUD - Required</u>	<u>Proposed</u>
FAR	5.5 total, 4.5 max. commercial	0.00
Min. Lot Area	15,000 s.f.	88,846
Max. Height	90 ft.	92'-11" Nine Story Residential 93'-10" for Eight-Story Office
Lot Occupancy	100%	64.7%
Rear Yard Office Building	2 1/2" / ft. of ht. at rear of strct. to highest point, not less than 12 ft.	2 1/2" x 101'-8" = 21'-2" req'd and 23'-7" +/- provided
Rear Yard Residential Building	2 1/2" / ft. of ht. at rear of strct. to highest point, not less than 12 ft.	2 1/2" x 99'-1" (est) 20'-7.5" req'd and 21.0 +/- provided
Side Yard Office Building	None required, if provided 2" / ft. of height, not less than 6 ft.	2" x 95'-3" = 15'-10" req'd and 21'-0" provided
Corner Lot/Side Yard Residential Building	None Required	none
Courts		
Width of Closed Court at Residential Bldg	4" / ft. of height, not less than 12 ft.	45' provided 26'-7" req'd
Area of Closed Court at Residential Building	Twice the square of the width of the court based upon the height of the court, but not less than three hundred fifty square feet. 2 x (26'-7" x 26'-7") = 1410 SF	3923 SF Provided
Width of Open Court at METRO Pedestrian Level	To top of canopy. (16' x 4") / 12 = 5'-4"	32'-0" Provided
Area	Area. 2 x (5'-4" x 5'-4") = 56.18 SF	6,089 SF Provided
Width of Open Court at METRO Second Floor Residential Level	To top of parapet (93'-6" x 4") / 12 = 31'-2"	75'-0" Provided
Area	Area. 2 x (31'-2" x 31'-2") = 1943 SF	8,844 SF Provided
Roof Structures	One structure per building	One Structure for Office Three Structures Res. Bld.

General Note:
 relief requested for multiple buildings on same lot (WMATA Canopy)

 Relief requested
 Relief Requested

1:1 Setback

Request Relief

1:1 Setback Not Met at all locations on the Residential Building Relief Requested

18'6" height limit

Roof Structures 18'-6" height max some lower

Parking		<u>Gross Floor Area</u>	<u>Required</u>	<u>Provided</u>
Office	1 sp./1,800 s.f. over 2,000 s.f.	206,947	114	130
Office Retail	1 sp./750 s.f. over 3,000 s.f.	8,669	8	8
Residential (9 story bldg)	1 space per 4 units /208 units		52	69
Res. Retail	1 sp./750 s.f. over 3,000 s.f.	6,082	8	8
Res. Office	1 sp./1,800 s.f. (w/ large office sf)	1,637	1	1
TOTAL			182	216

Vehicle Parking Count by Level

G-1	60
G-1 Office	62
Multi Family	
G-2	68
Office	
Grade Office	2
Grade Residential	24
TOTAL	216

Bike Parking inside the building

Office on G-1 & G-2	60	60
Residential on G-1 & Grade	80	80
TOTAL	140	140

Bike Parking on the Sidewalk

DC Bike Share Spaces

Loading

	3 berths @ 30 ft deep	3 berths @ 30 ft deep
	3 platforms @ 100 sf	3 platforms @ 100 sf
Office (greater than 200k s.f.)	1 sevice delivery @ 20 ft deep	1 sevice delivery @ 20 ft x 10 ft
	1 berths @ 30 ft deep	1 berths @ 30 ft deep
	1 platforms @ 100 sf	1 platforms @ 100 sf
Retail (8k - 20k s.f.)	1 sevice delivery @ 20 ft deep	1 sevice delivery @ 20 ft x 10 ft

Zoning Analysis

Residential	1 berth @ 55' deep	1 berth @ 30ft deep	Relief
	1 platform @ 200 sf	1 platform @ 100 sf	Requested
Residential		1 service delivery @ 20 ft deep	Relief
	1 service delivery @ 20' deep		Requested
Retail (less than 8k)	no requirements		
Office (less than 30k)	no requirements		

Gross Floor Areas for FAR Calculations

Office	236,639
Residential	209,931
	<hr/>
	446,570

Inclusionary Zoning Affordable Housing Program

9th Floor		22,112
8th Floor		22,892
7th Floor		22,662
6th Floor		22,662
5th Floor		22,621
4th Floor		22,658
3rd Floor		23,563
2nd Floor		23,316
1st Floor Total	27,445 sf	
Residential Use		11,452
Retail Use	15,993 sf	
TOTAL Residential Gross Floor Area		<hr/> 193,938 sf
(8% of the Residential gross floor area).		15,515 sf

Zoning Analysis (continued)

Preliminary Tabulations (Note Areas are preliminary, approximate and subject to change) 4/25/2013

Office Building										
Floor	Height ft.	Grade Level Spaces	Garage Spaces	Bike Spaces	Zon. Gross g.s.f.	Ret. Net g.s.f.	Gym/Amm g.s.f.	Load./Serv./ Util. g.s.f.	Parking g.s.f.	WMATA Canopy g.s.f.
	9' c/g/ 8" slab									
8	11.666				27,383					
7	11.416				29,447					
6	11.166				30,254					
5	11.166				30,254					
4	11.166				30,254					
3	11.166				30,254					
2	11.166				29,101					
1 / Ret	14.92	2	2		29,692	8,669	3,159	3,863	0	1,721
G1			61	37					34,166	
G2			69	40					34,166	
Totals *	93.83	2	132	77	236,639	8,669	3,159	3,863	68,332	1,721

Typical Office Floor 18" plenum, 8" slab, 9' ceilings=11.166' flr / flr

*Note the Height Listed in the Total is not the building Height at the Measuring Point but the overall height of each structure.

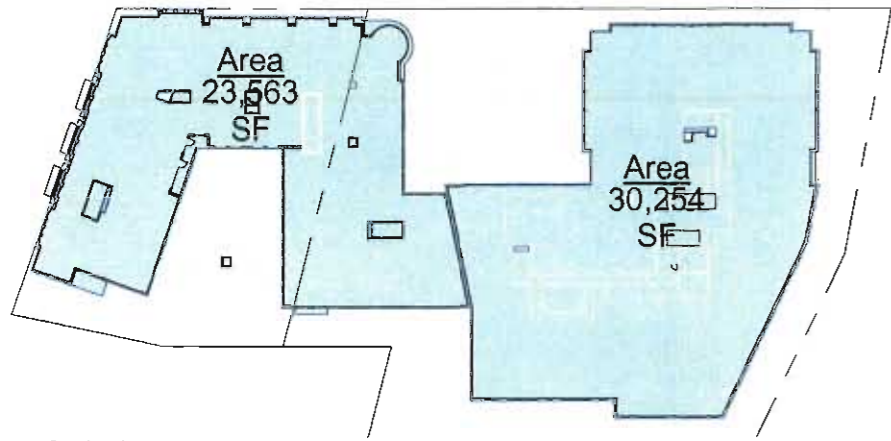
Residential Building - Nine Stories										
Floor	Height ft.	Grade Level Spaces	Garage Spaces	Bike Spaces	Zon. Gross g.s.f.	Ret. Net n.s.f.	Office Net n.s.f.	Load./Serv./ Util. g.s.f.	Parking g.s.f.	Units GSF 925
9	11.33				22,112					26
8	9.33				22,892					26
7	9.33				22,662					26
6	9.33				22,662					26
5	9.33				22,621					26
4	9.33				22,658					26
3	9.33				23,563					27
2	9.33				23,316					25
1 / Ret.	16.25	24		24	27,445	6,082	1,519			
G1			62	40					33,104	
Totals	92.89	24	62	64	209,931	6,082	1,519	0	33,104	208

FAR 5.05

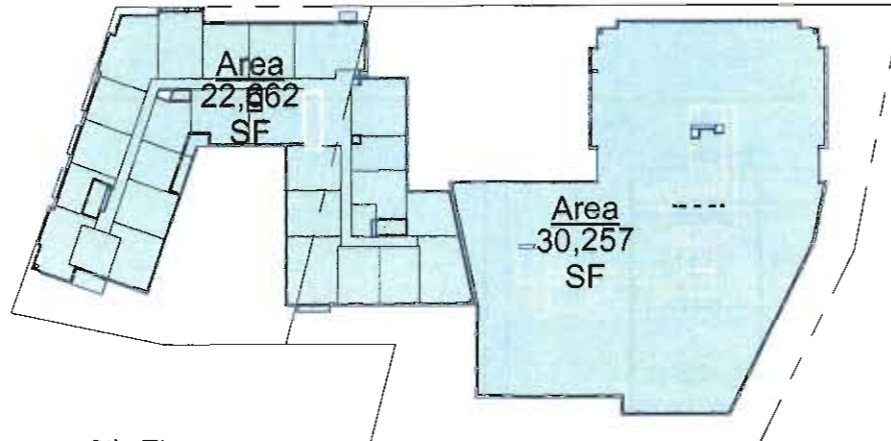
Typical Residential Floor 8.66' ceiling and 8" slab = 9'-4" Flr/Flr

*Note the Height Listed in the Total is not the building Height at the Measuring Point but the overall height of each structure.

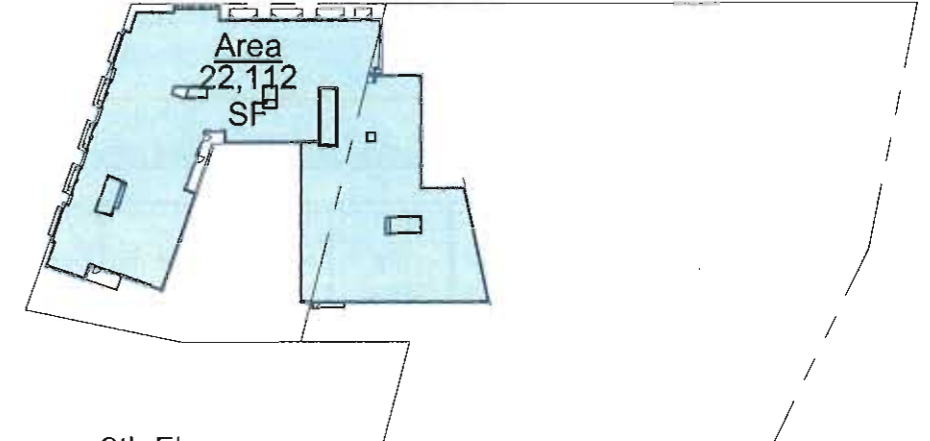
Project Tabulation Summary



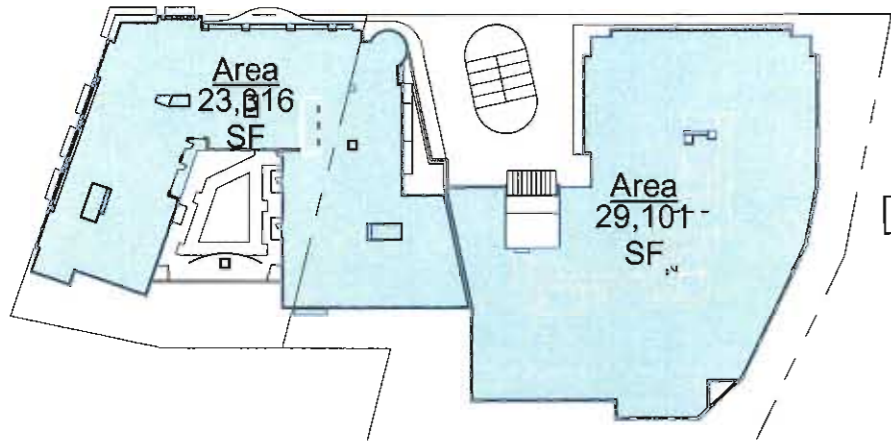
③ 3rd Floor
1" = 100'-0"



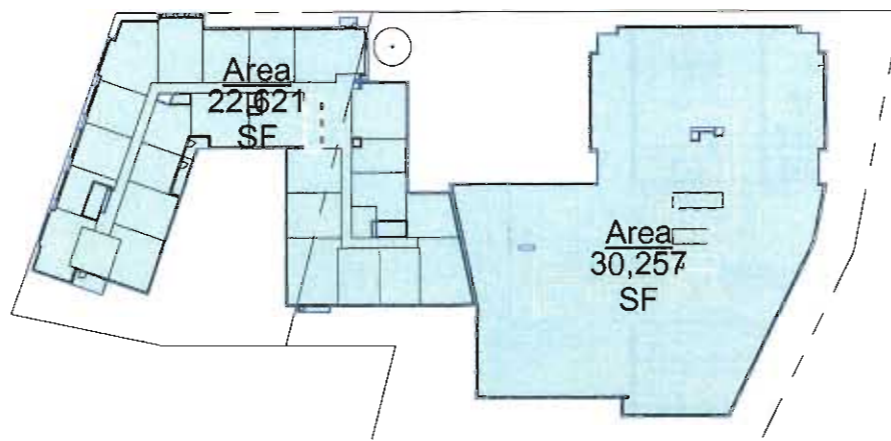
⑥ 6th Floor
1" = 100'-0"



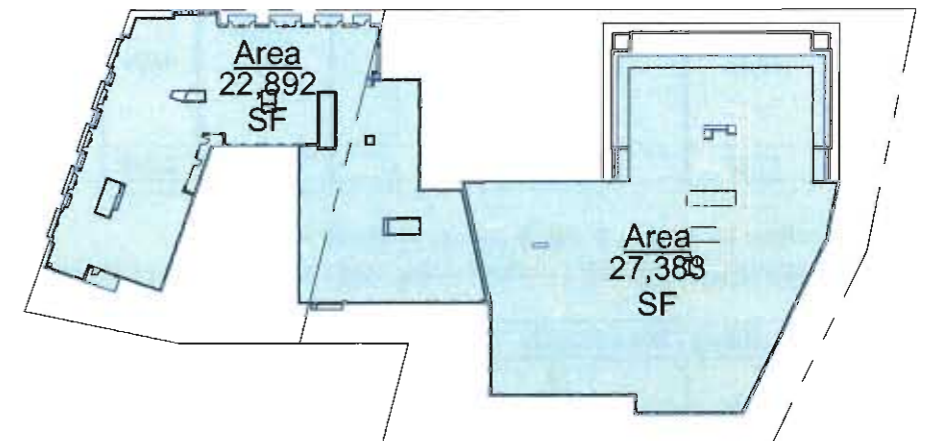
⑨ 9th Floor
1" = 100'-0"



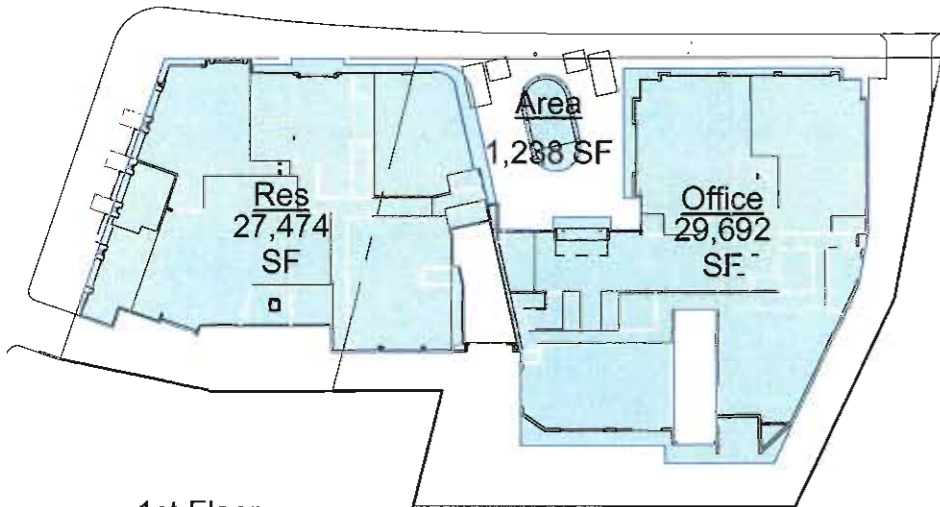
② 2nd Floor
1" = 100'-0"



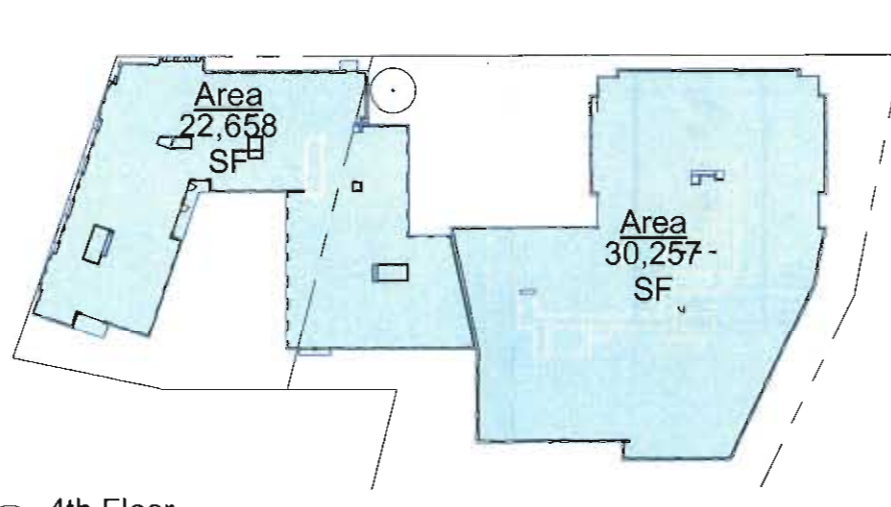
⑤ 5th Floor
1" = 100'-0"



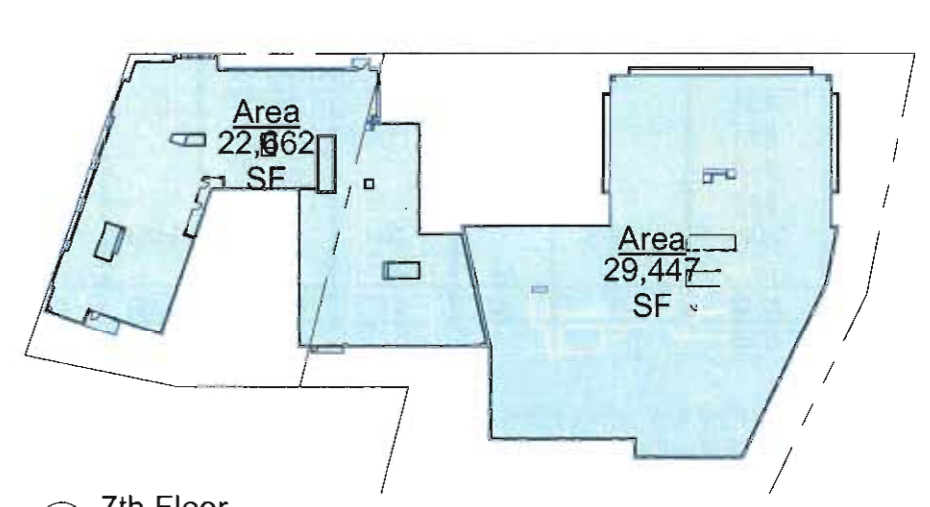
⑧ 8th Floor
1" = 100'-0"



① 1st Floor
1" = 100'-0"



④ 4th Floor
1" = 100'-0"



⑦ 7th Floor
1" = 100'-0"

FAR Area Plans

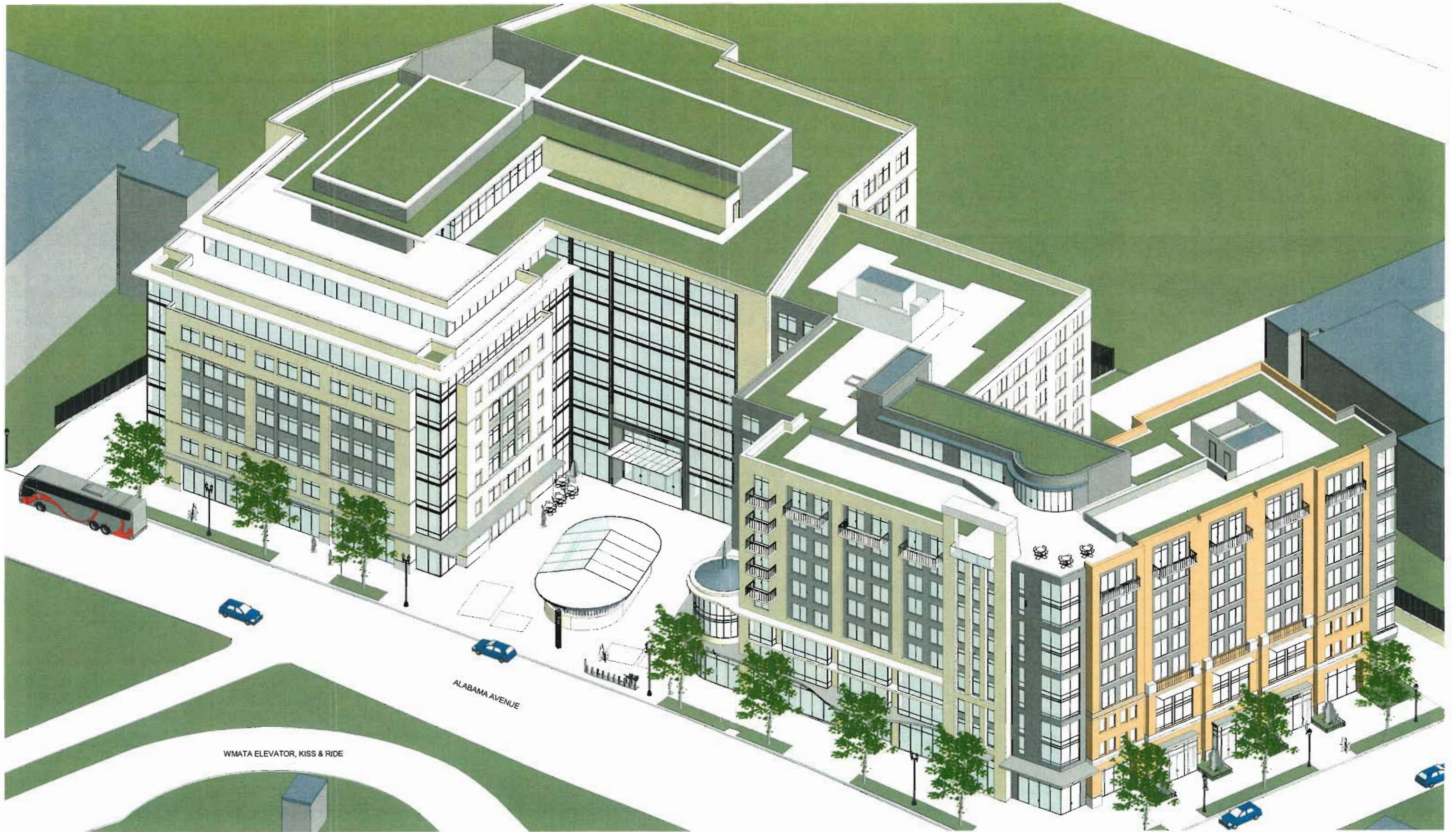


Rendering - Northwest Perspective

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Axonometric View - Northwest

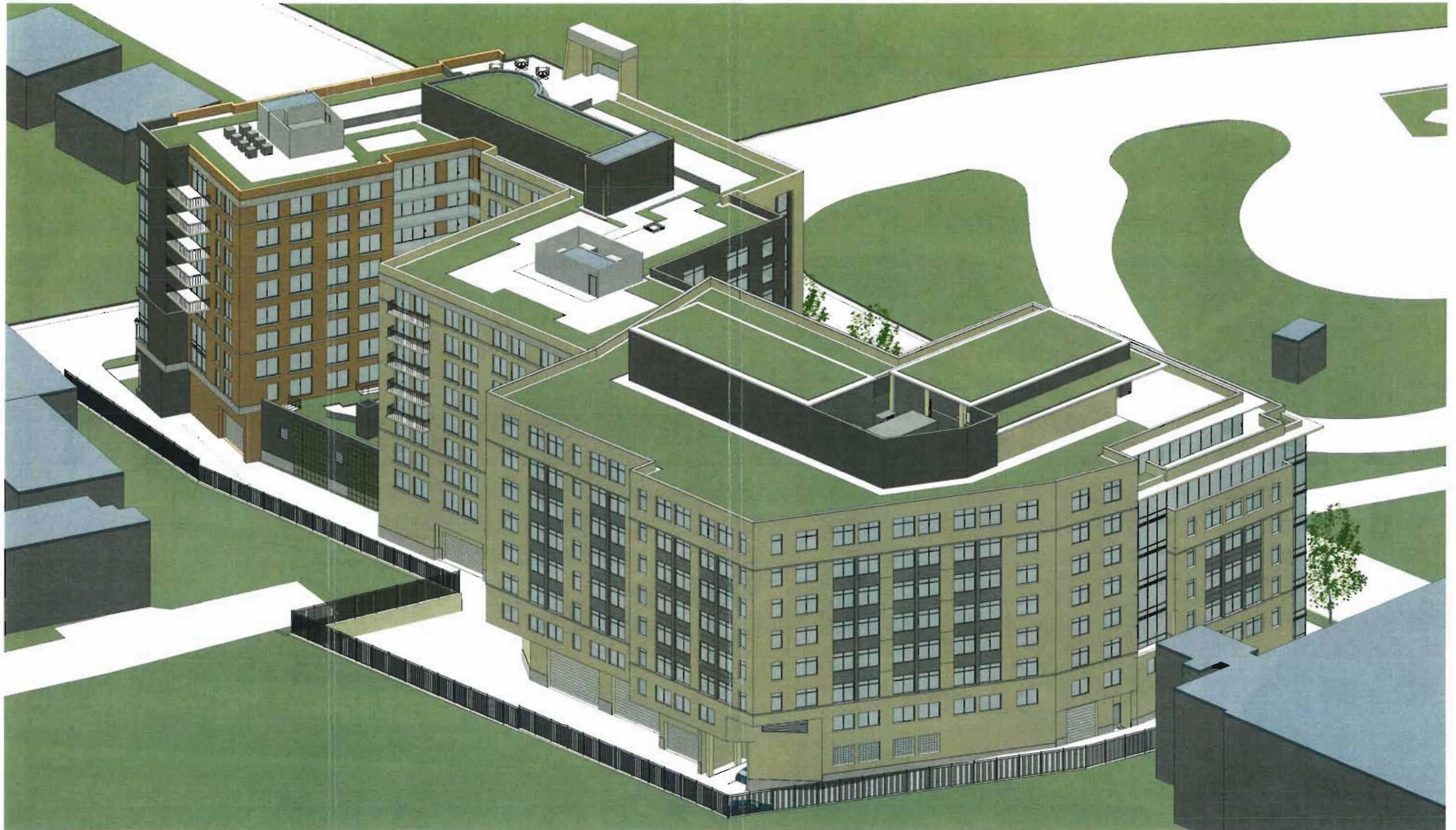


Axonometric View - Northeast

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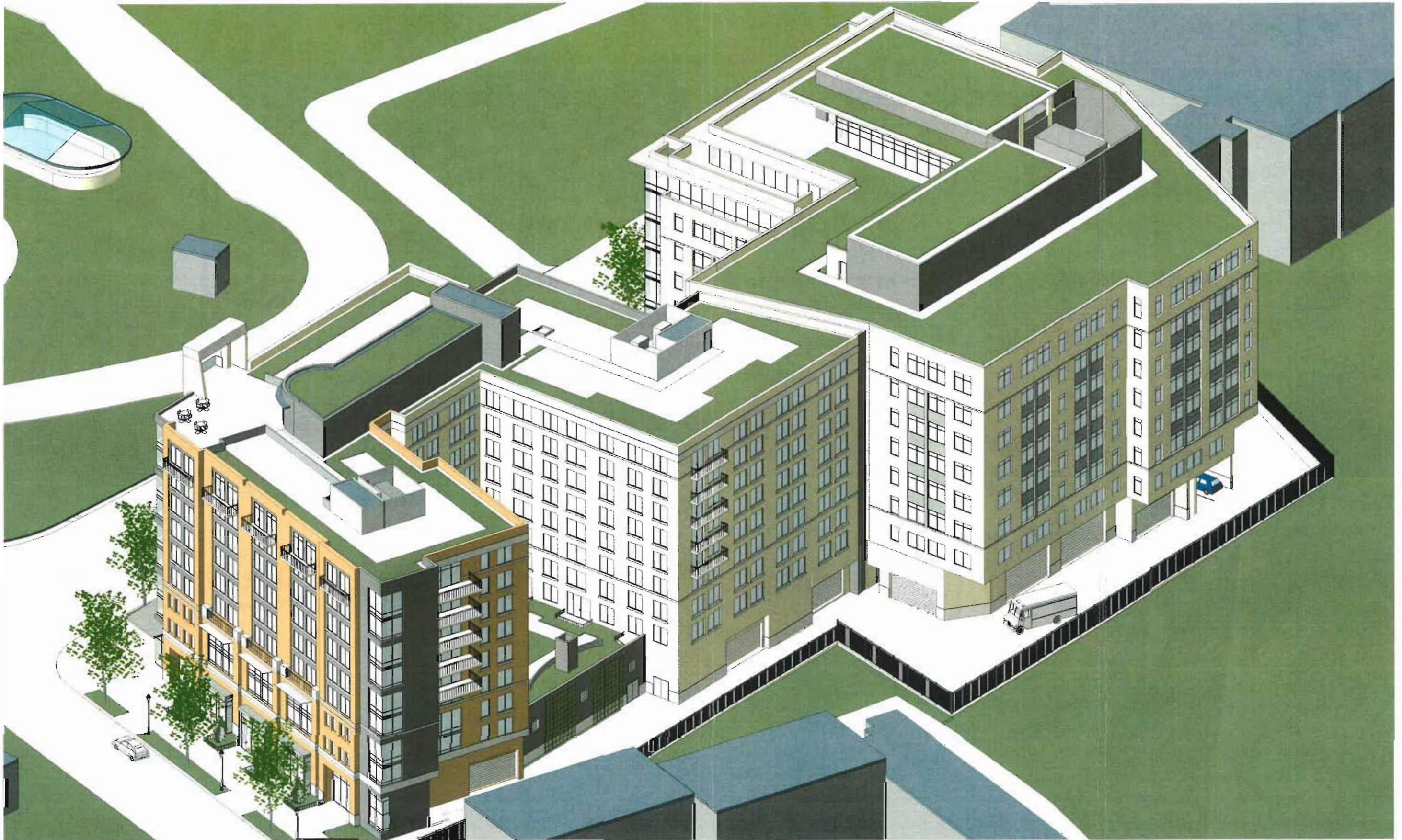


Axonometric View - Southeast

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Axonometric View - Southwest

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① West - 13th St. facade



② Alabama Ave. - Metro Entrance

Perspective Views



① Metro Plaza - Looking West



② Residential facade - 13th St.

Perspective Views

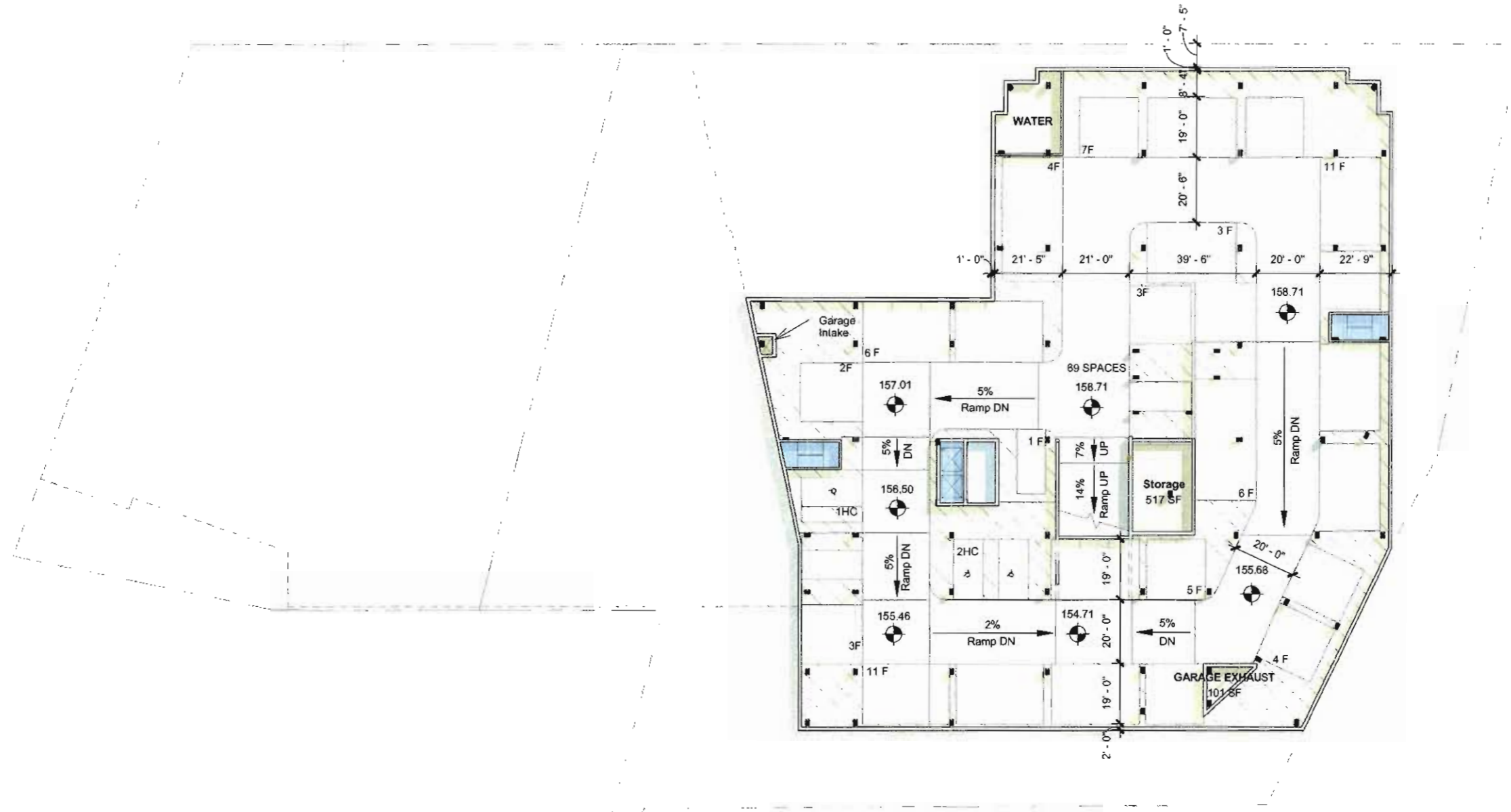
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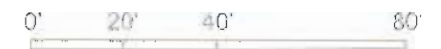


① Office - View from across Alabama

Perspective Views



① Garage 2
1" = 40'-0"

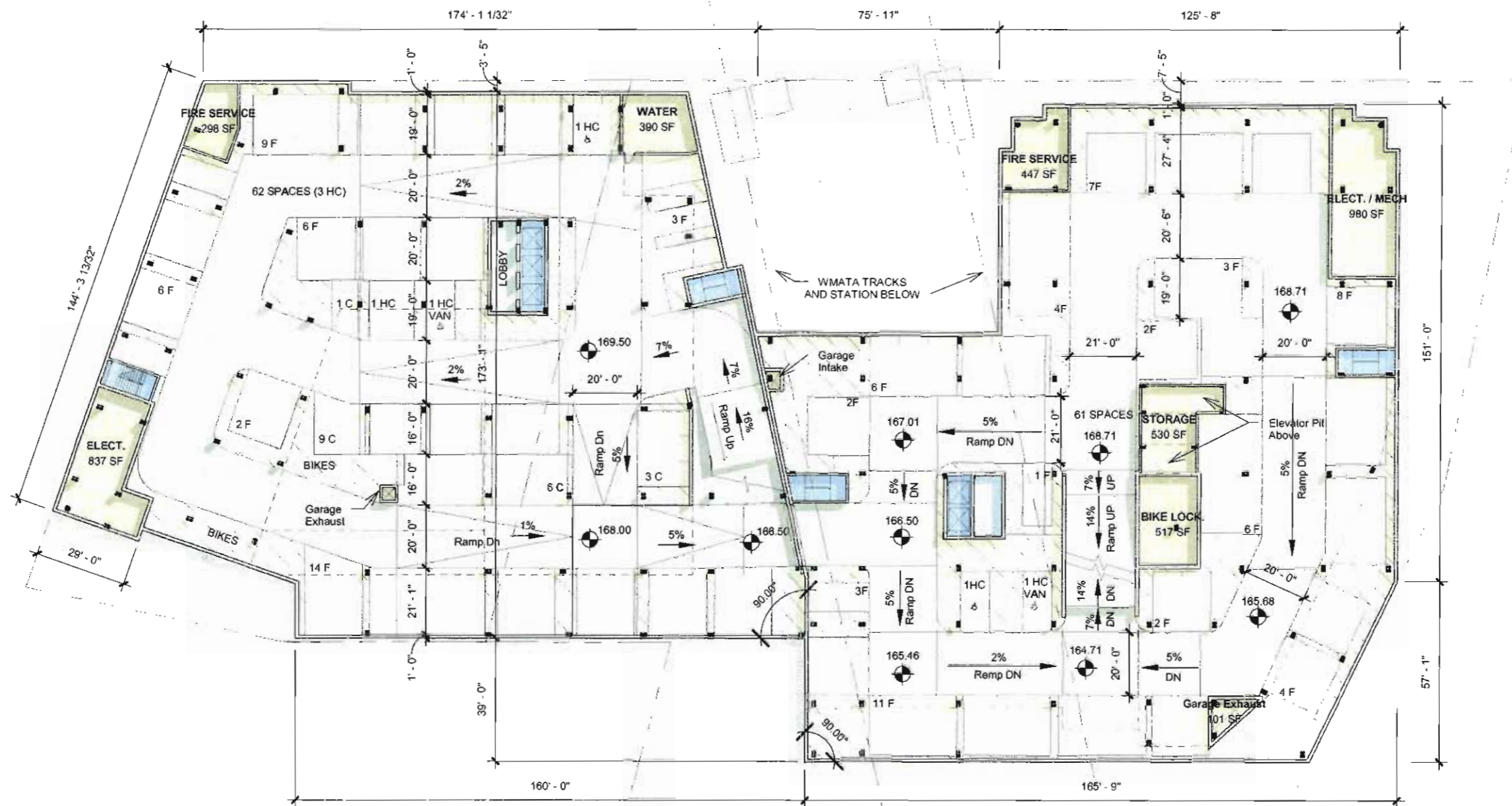


G2 Garage Plan

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① Garage
1" = 40'-0"



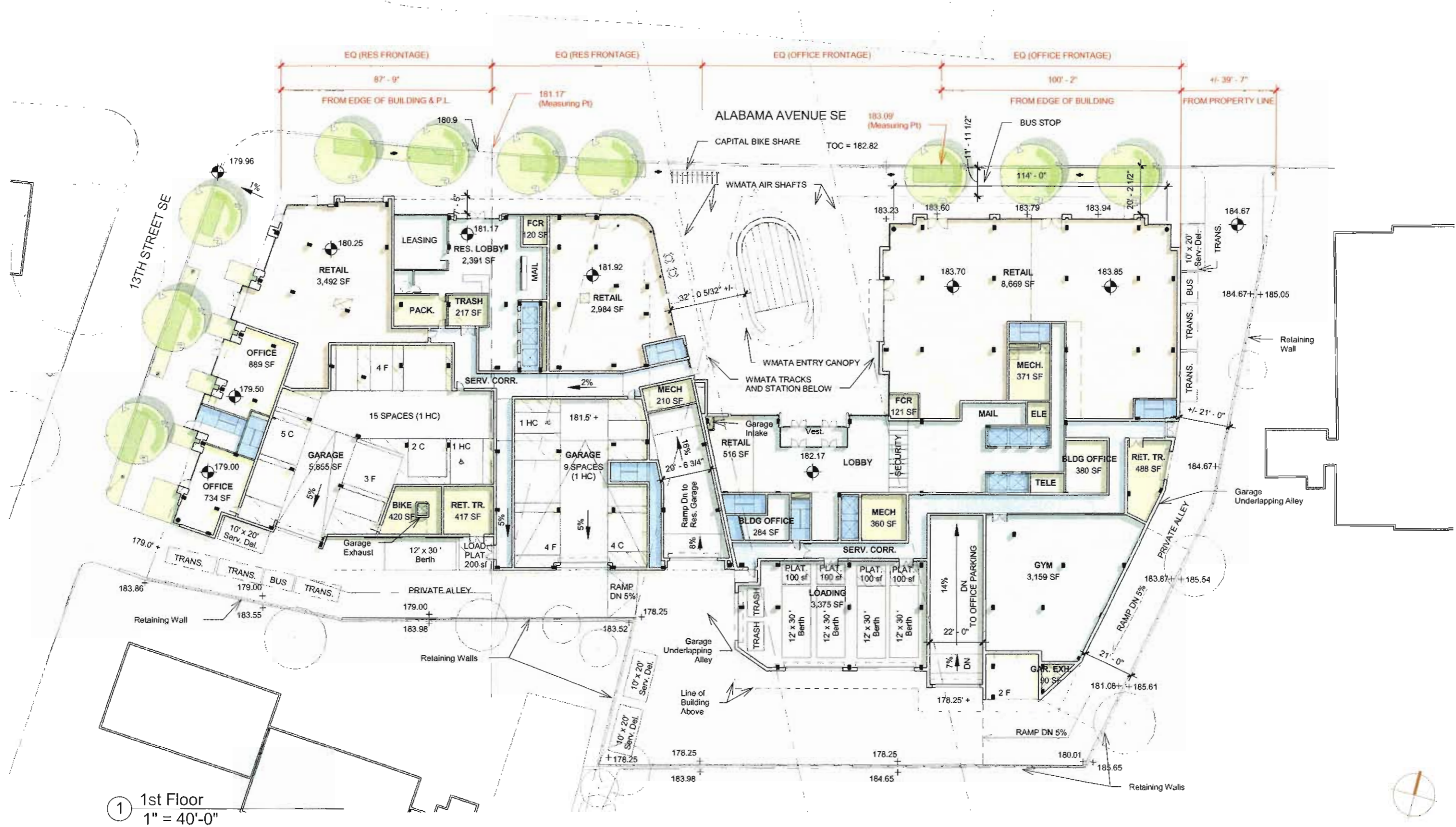
G1 Garage Plan

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4/25/13



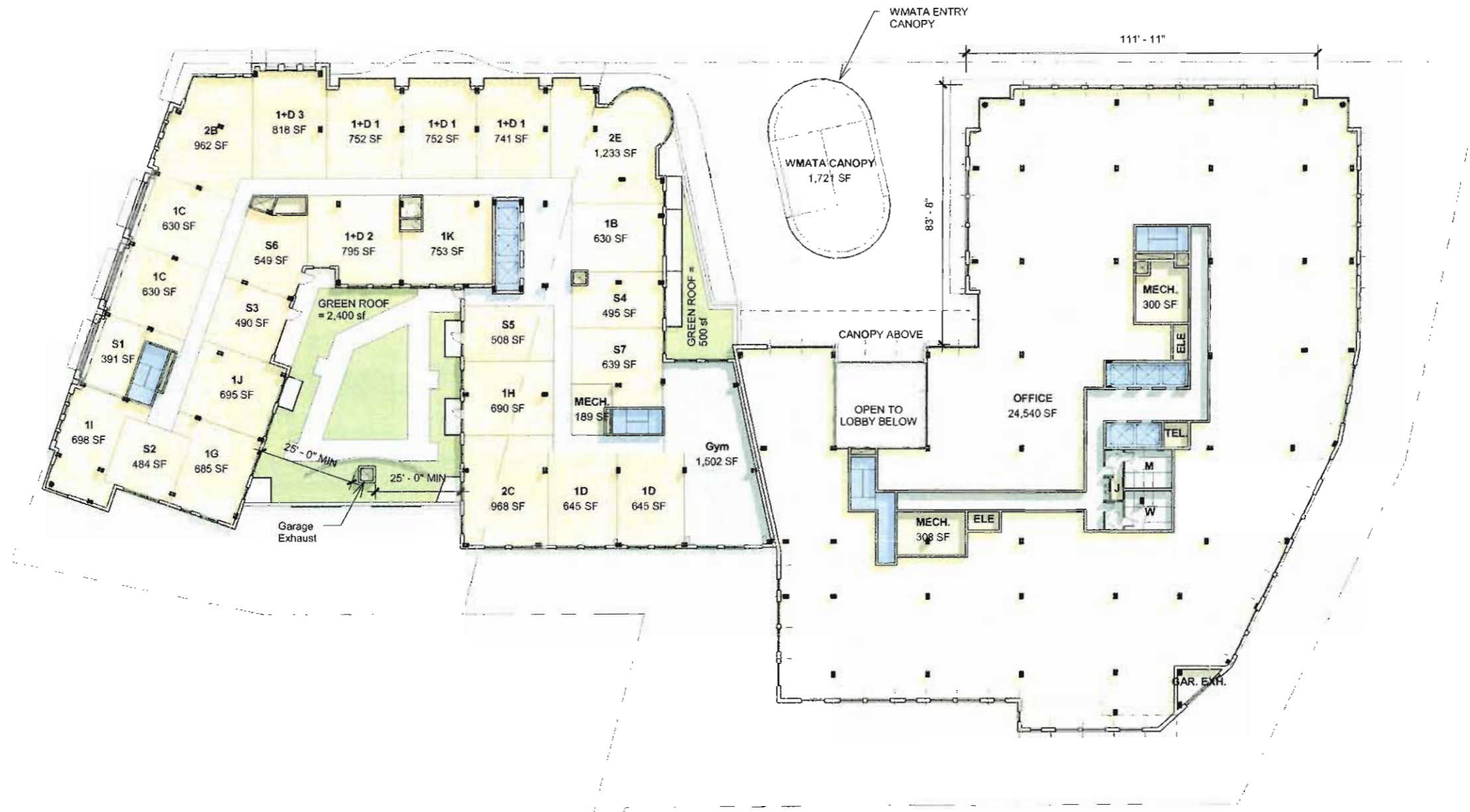
① 1st Floor
1" = 40'-0"

1st Floor Plan

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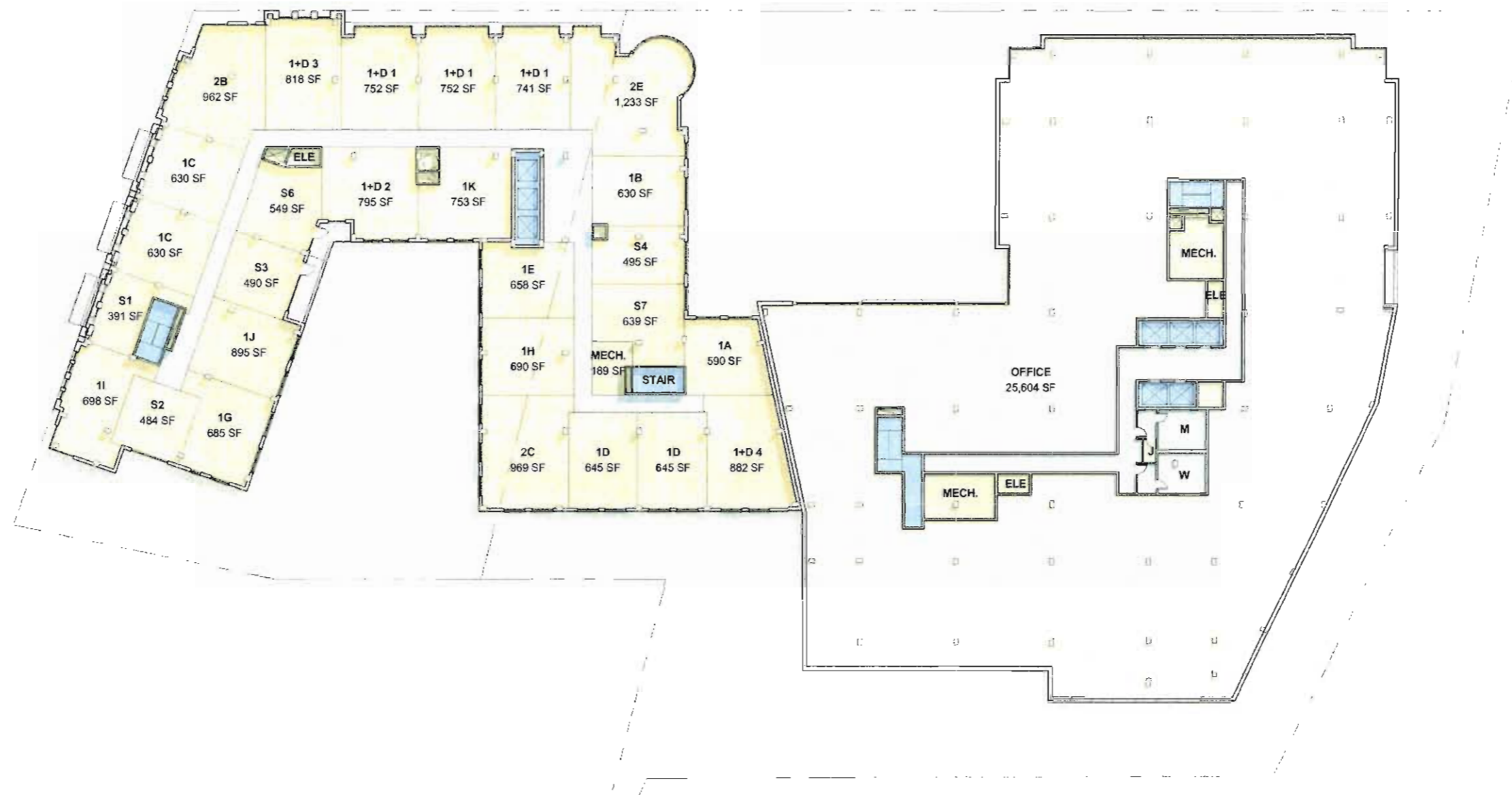
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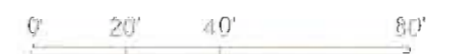
① Office 2nd Floor
1" = 40'-0"



2nd Floor Plan



① 3rd Floor (Res. & Office)
1" = 40'-0"



3rd Floor Plan

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① Typical Floor Plan
1" = 40'-0"

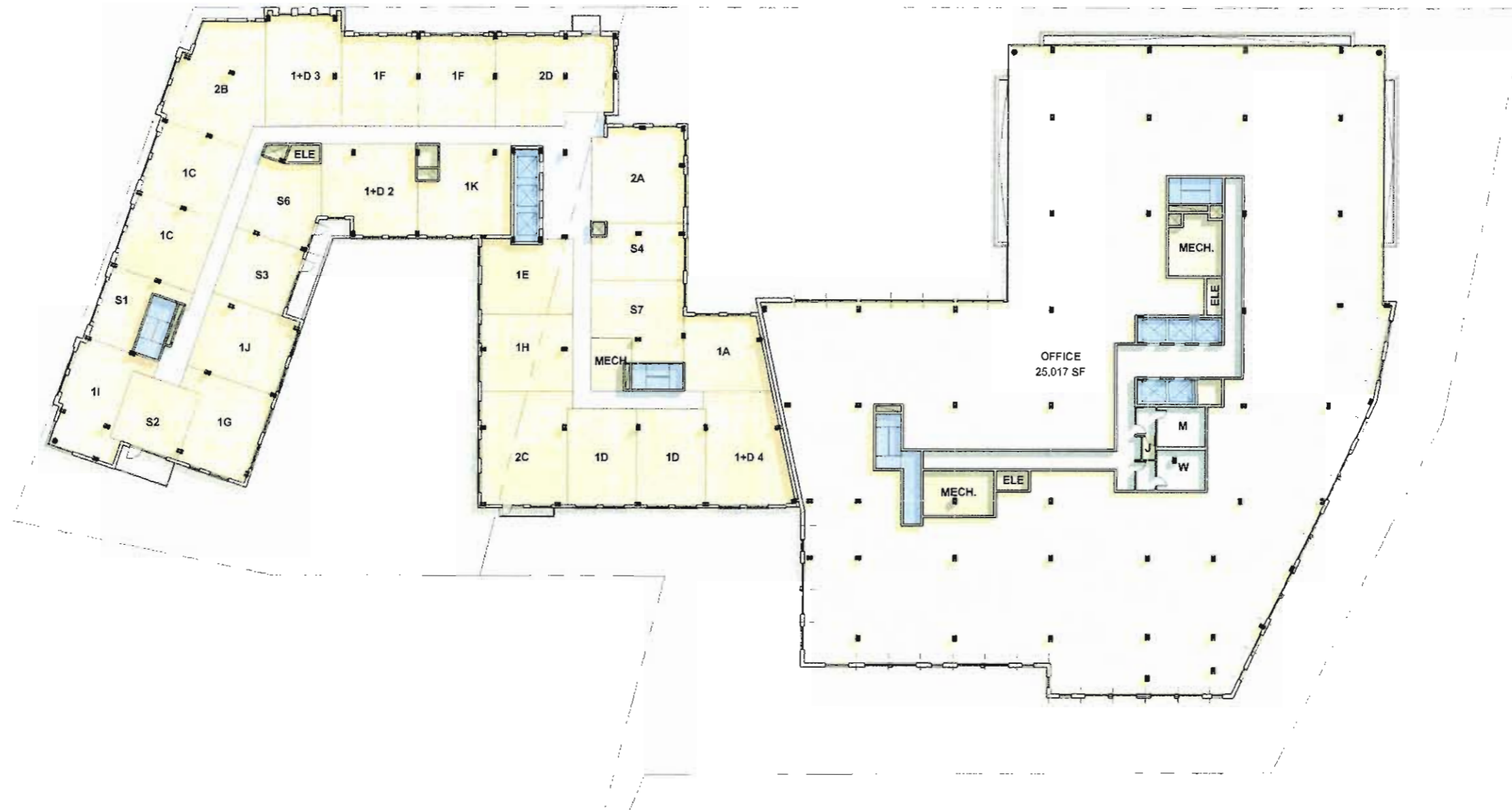


Typical Floor

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① 8th Floor (Res) / 7th Floor (Office)
1" = 40'-0"

8th Floor (Res) / 7th Floor (Office)

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① 9th Floor (Res) / 8th Floor (Office)
1" = 40'-0"

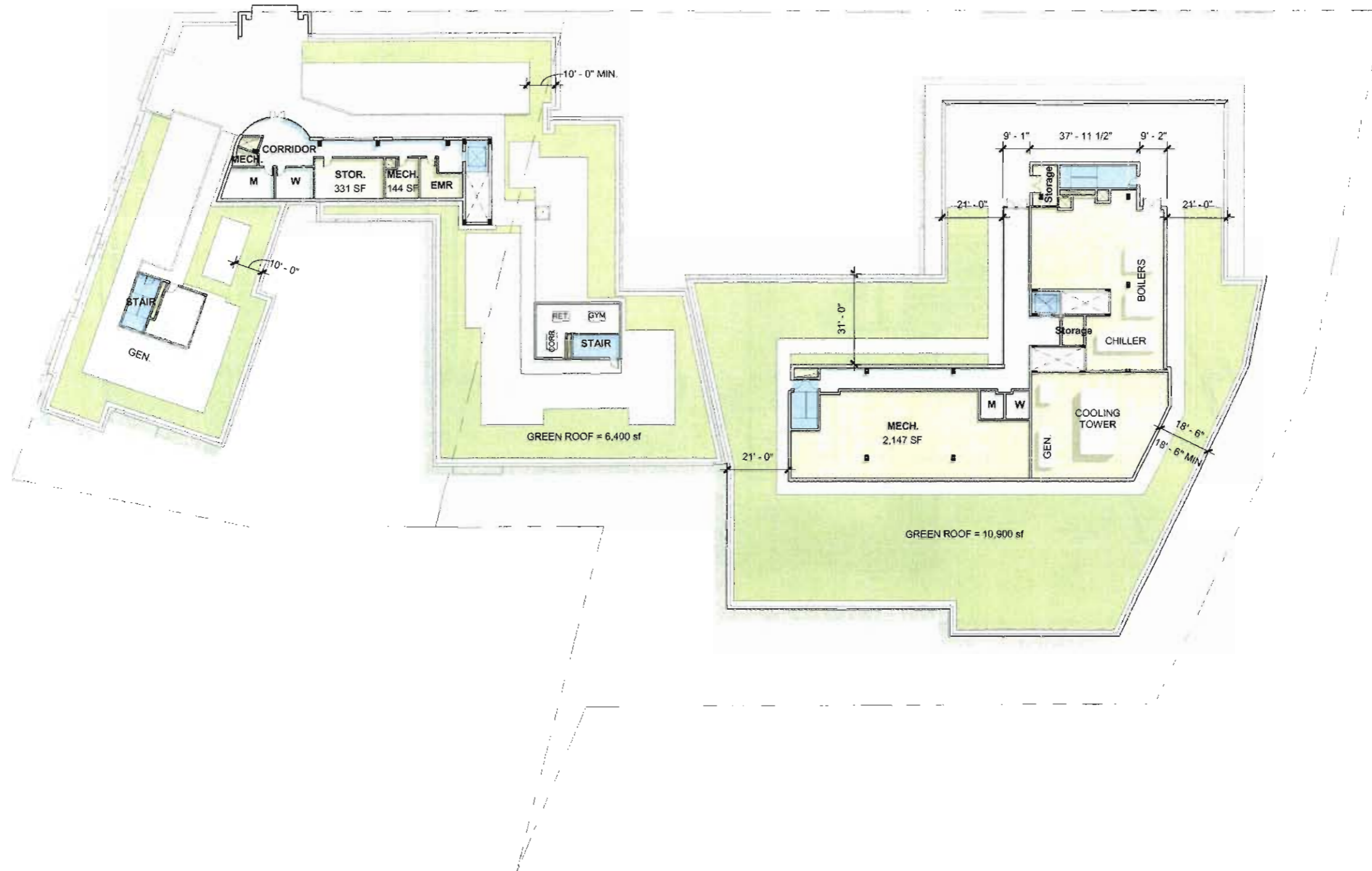


9th Floor (Res) / 8th Floor (Office)

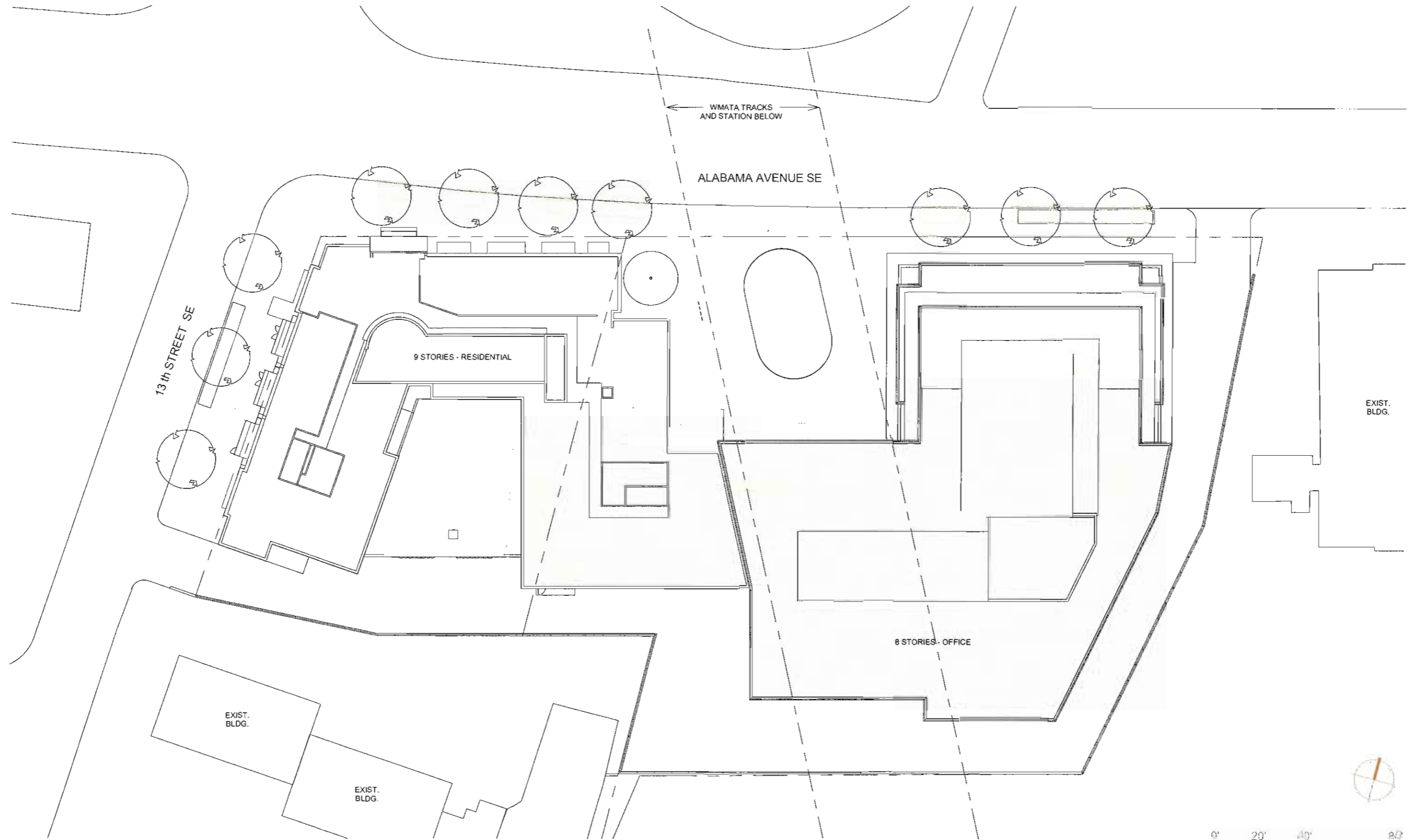
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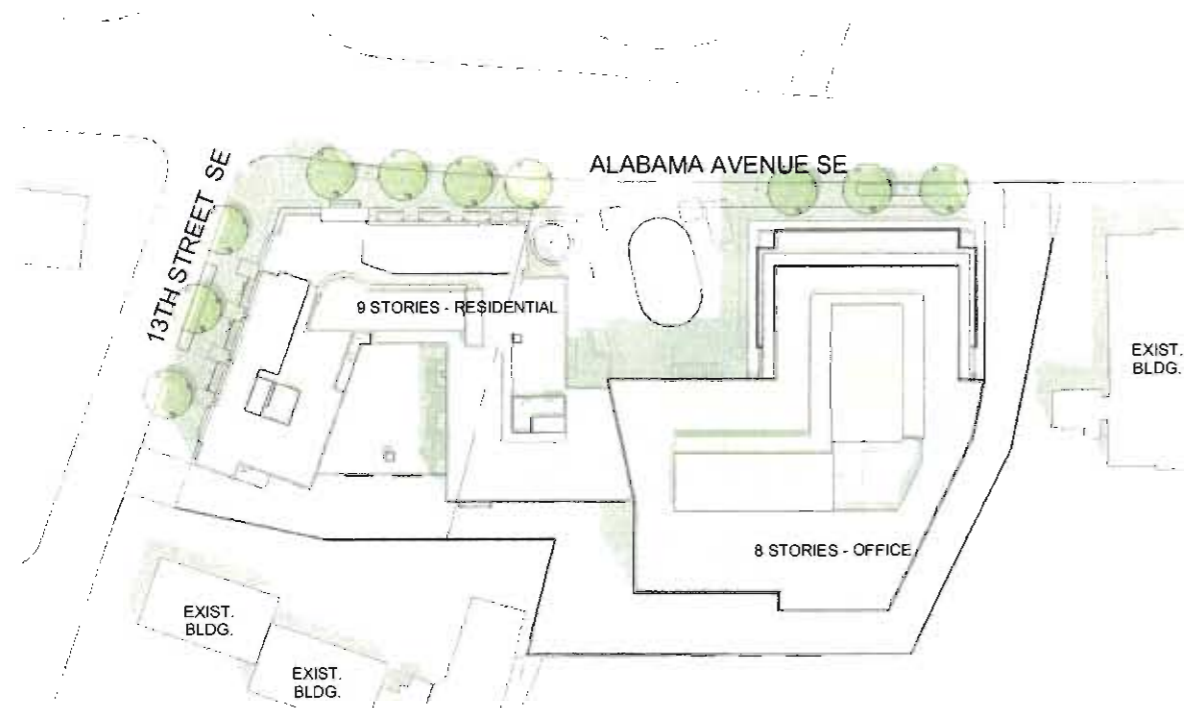
Roof Plan



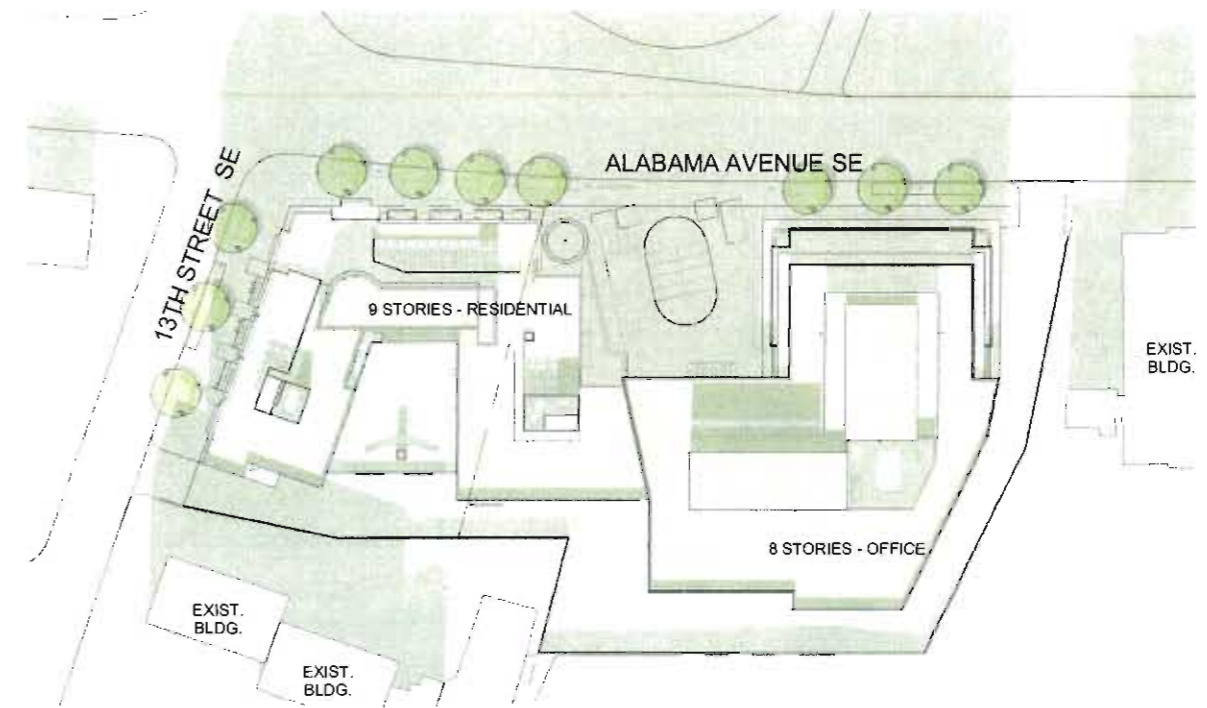
Site Plan



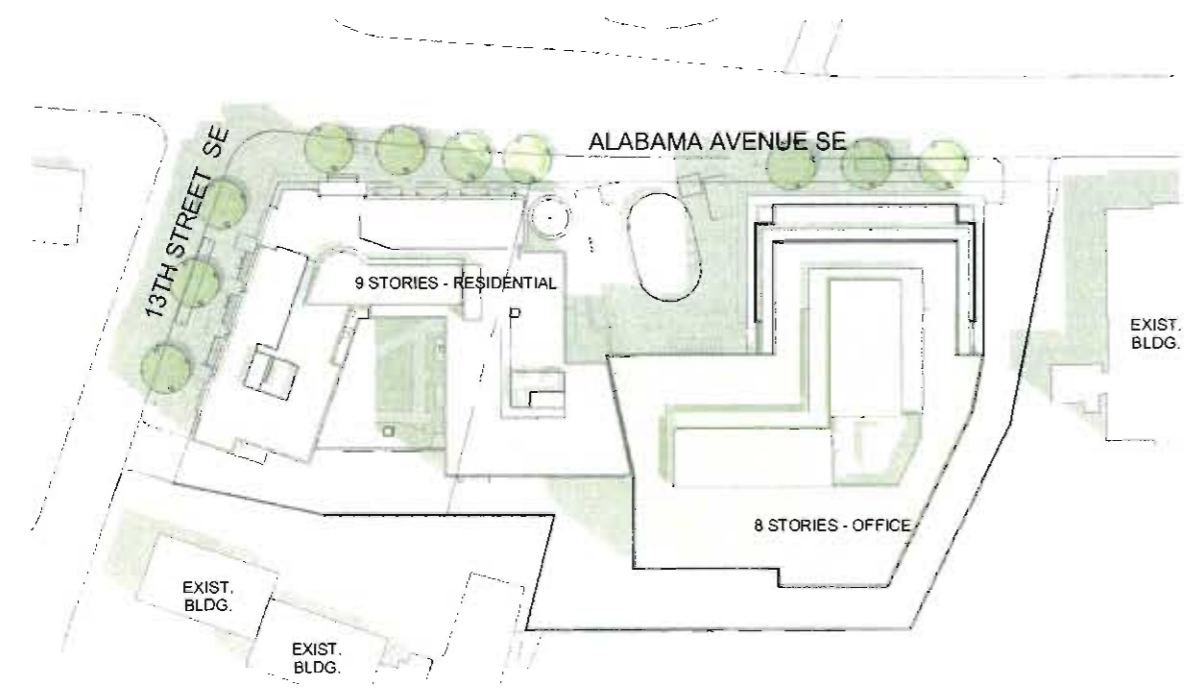
Site Plan - Dimensioned



① Shadow Study - June (AM)
1" = 100'-0"



③ Shadow Study - December (AM)
1" = 100'-0"

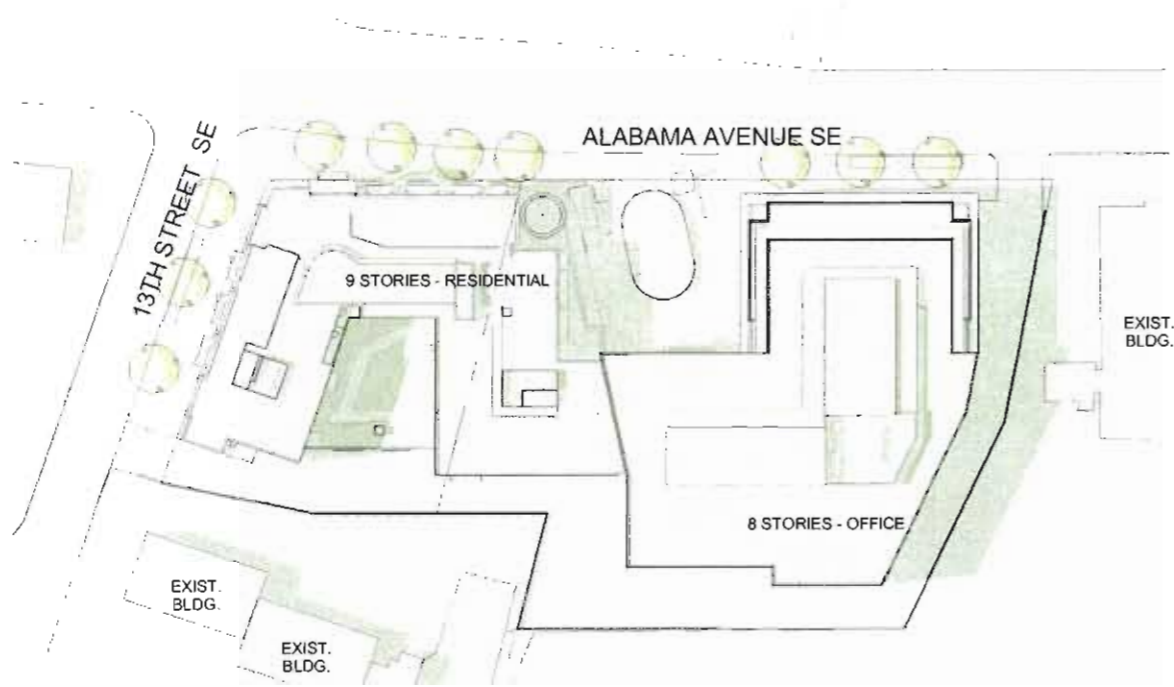


② Shadow Study - March (AM)
1" = 100'-0"

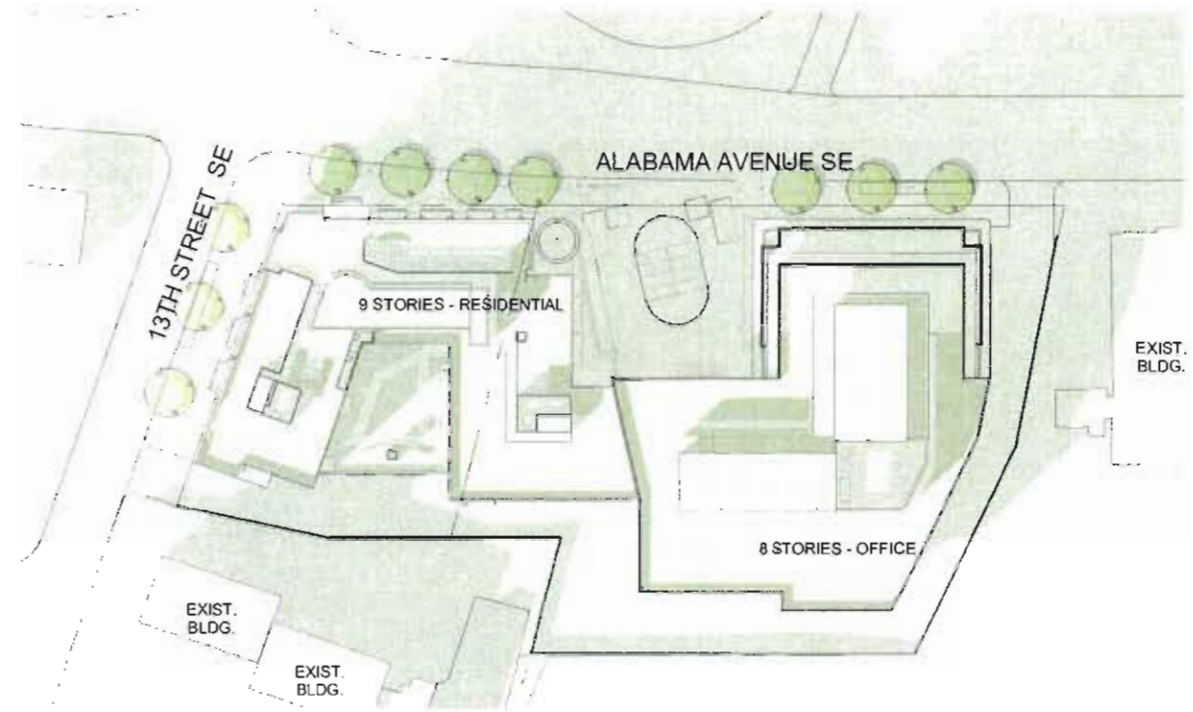
Shadow Studies - 11 AM

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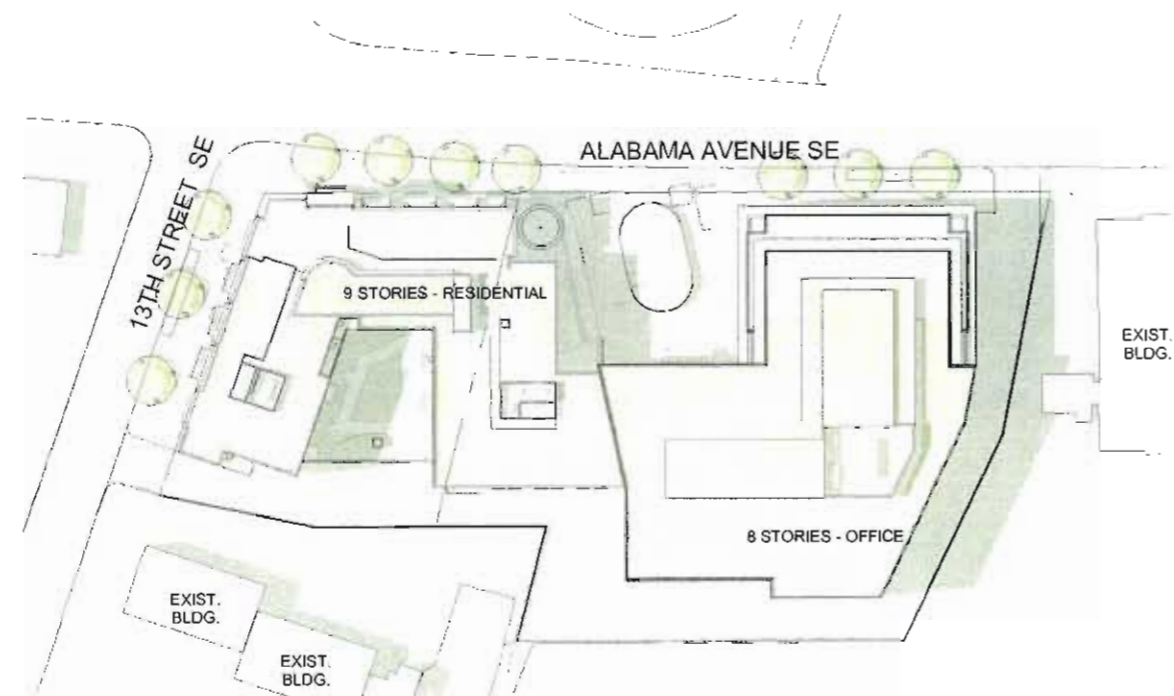
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① Shadow Study - June (PM)
1" = 100'-0"



③ Shadow Study - December (PM)
1" = 100'-0"

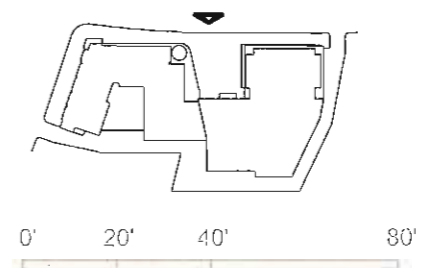


② Shadow Study - March (PM)
1" = 100'-0"

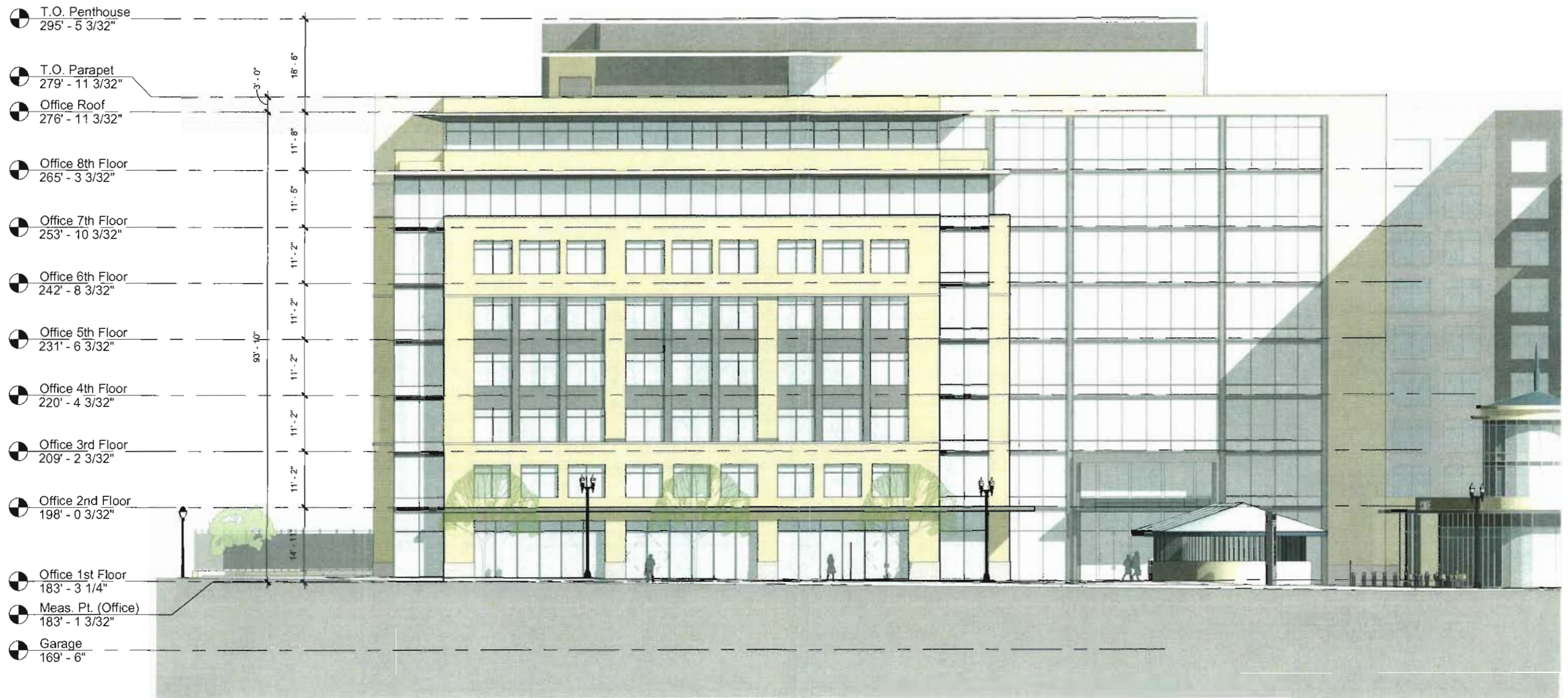
Shadow Studies - 2 PM



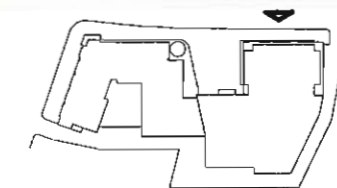
① North Elevation
1" = 40'-0"



North Elevation - Overall



① North Elevation - Office
1" = 20'-0"



North Elevation - Office

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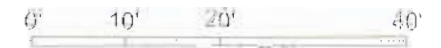
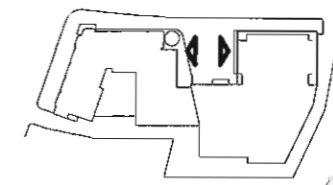
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① Front Court East Elevation
1" = 20'-0"



② Front Court West Elevation
1" = 20'-0"



Courtyard Elevations

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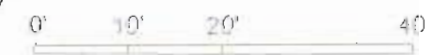
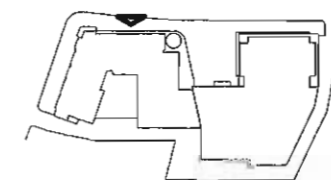
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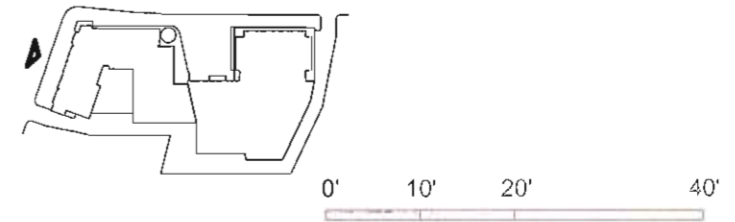
North Elevation - Residential

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West Elevation

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- Res. T.O. Parapet
277' - 1 1/16"
- Res. Roof
274' - 1 1/16"
- Res. 9th Floor
262' - 9 1/16"
- Res. 8th Floor
253' - 5 1/16"
- Res. 7th Floor
244' - 1 1/16"
- Res. 6th Floor
234' - 9 1/16"
- Res. 5th Floor
225' - 5 1/16"
- Res. 4th Floor
216' - 1 1/16"
- Res. 3rd Floor
206' - 9 1/16"
- Res. 2nd Floor
197' - 5 1/16"
- Res. Level 1
181' - 11 1/16"
- Garage
169' - 6"



① South Residential Elevation - West
1" = 20'-0"

GREEN
SCREEN WALL



② South Residential Elevation - East
1" = 20'-0"



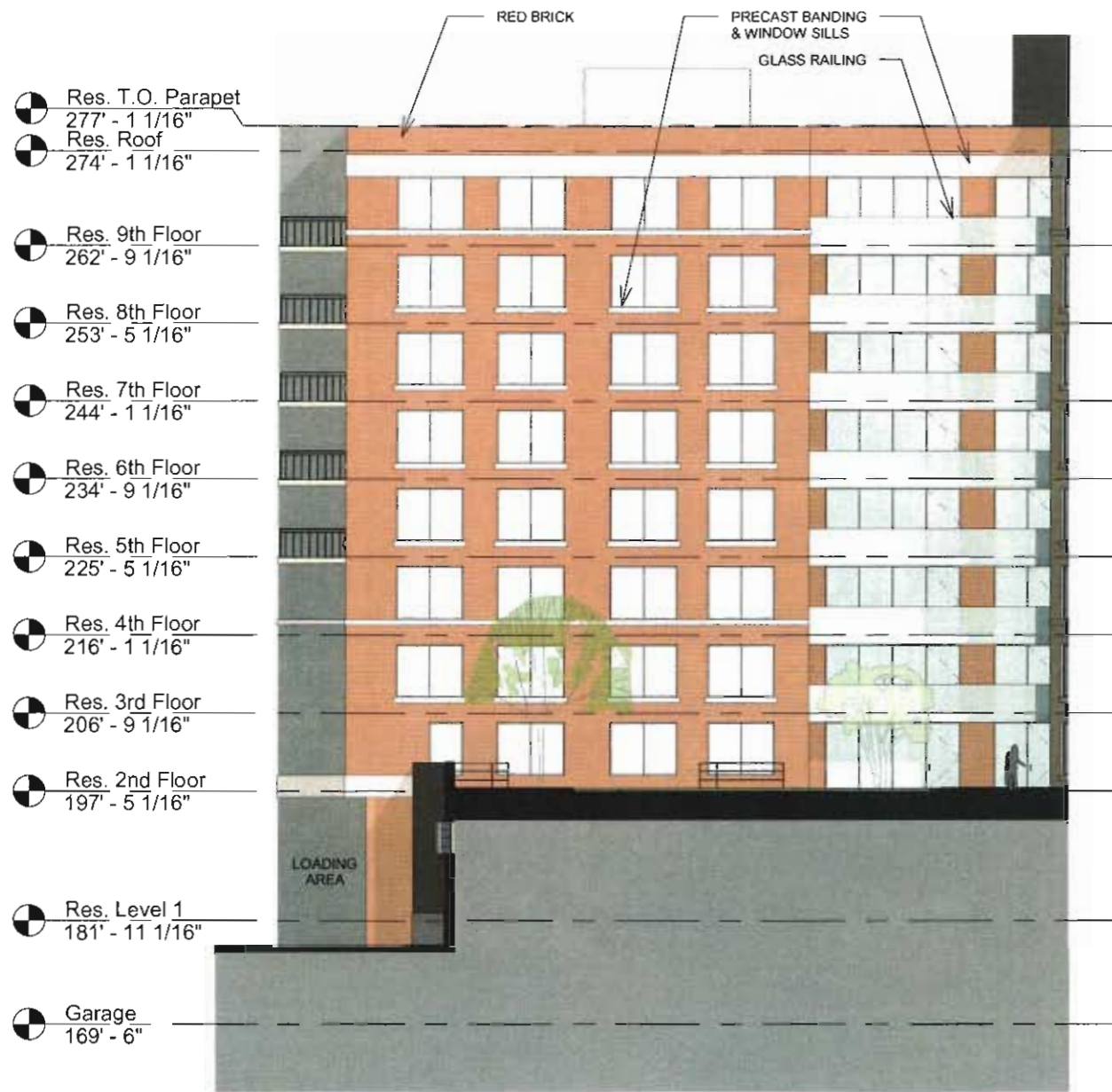
0' 10' 20' 40'

Residential Elevations - South

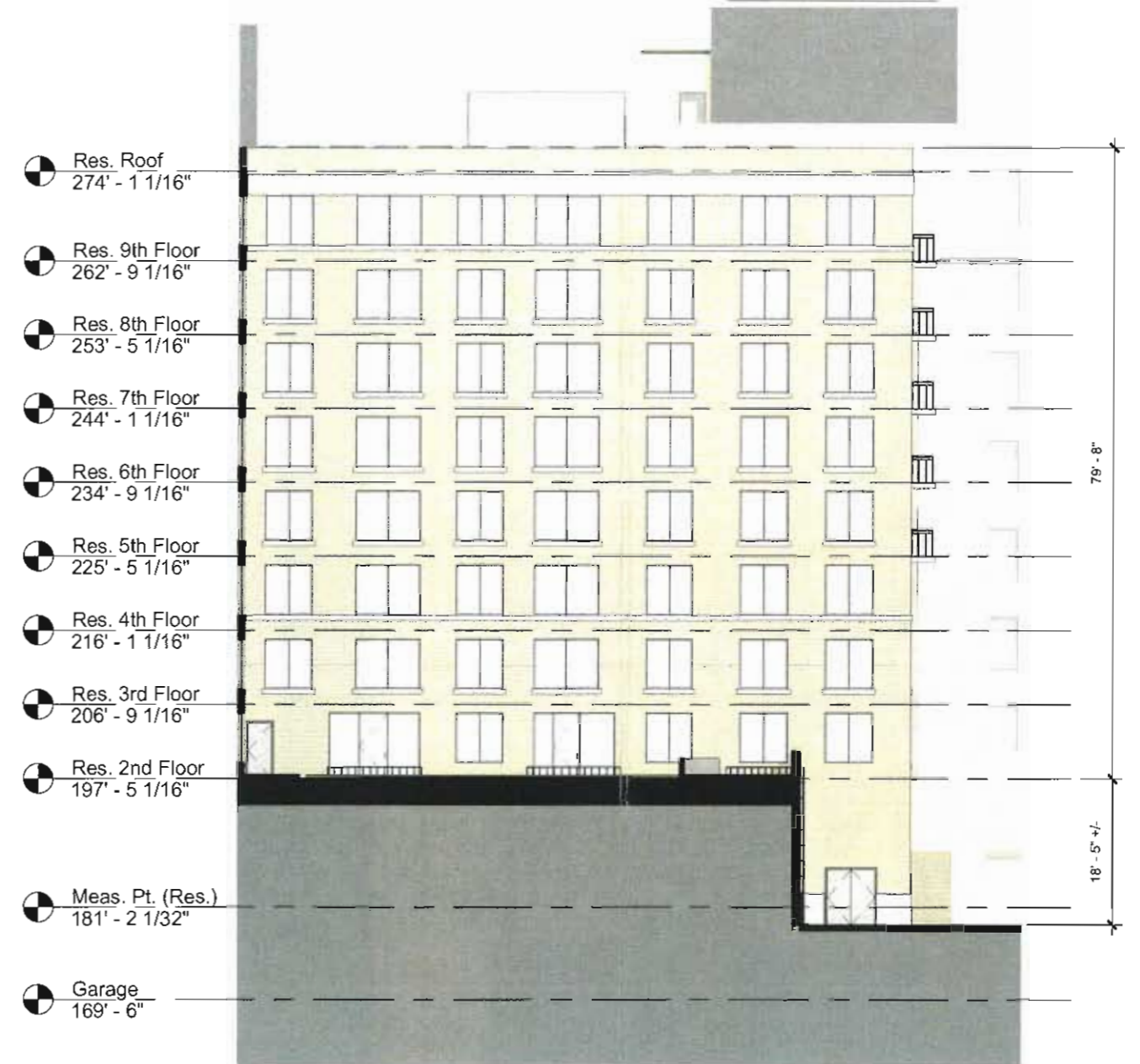
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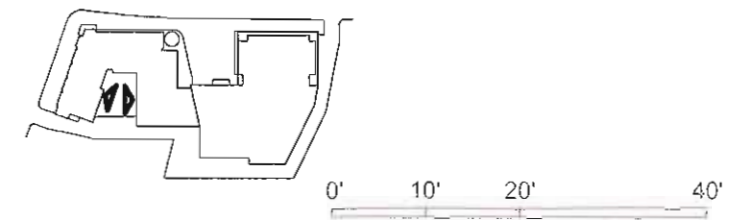
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① Residential Court - East
 1" = 20'-0"



② Residential Court - West
 1" = 20'-0"



Residential - Courtyard Elevations

Congress Heights

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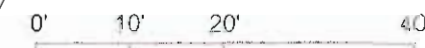


① West Rear Elevation - Office
1" = 20'-0"



② South Elevation - Office
1" = 20'-0"

T.O. Penthouse	295' - 5 3/32"
T.O. Parapet	279' - 11 3/32"
Office Roof	276' - 11 3/32"
Office 8th Floor	265' - 3 3/32"
Office 7th Floor	253' - 10 3/32"
Office 6th Floor	242' - 8 3/32"
Office 5th Floor	231' - 6 3/32"
Office 4th Floor	220' - 4 3/32"
Office 3rd Floor	209' - 2 3/32"
Office 2nd Floor	198' - 0 3/32"
Office 1st Floor	183' - 3 1/4"
Meas. Pt. (Office)	183' - 1 3/32"
Garage	169' - 6"
Garage 2	158' - 8 1/2"



South Elevation - Office

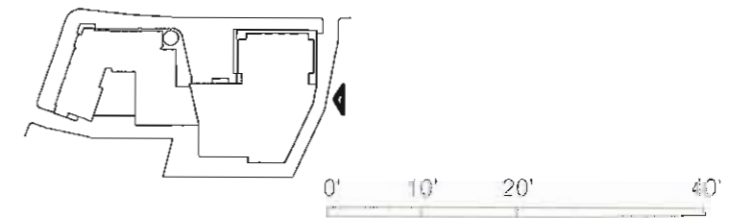
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① East Elevation - Office
1" = 20'-0"



East Elevation

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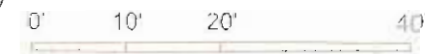
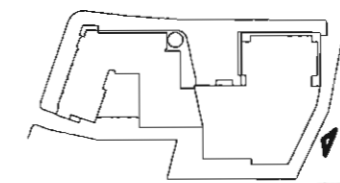


① Southeast Elevation - Office
1" = 20'-0"

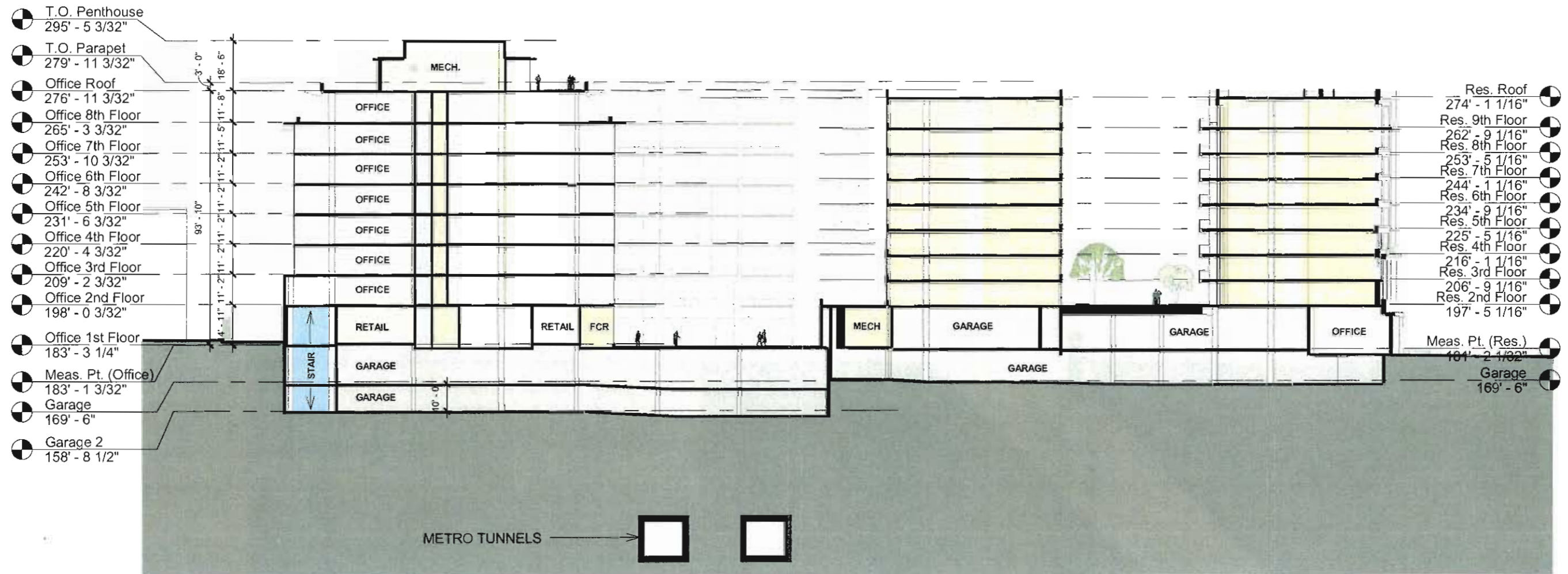
Southeast Elevation - Office

Congress Heights

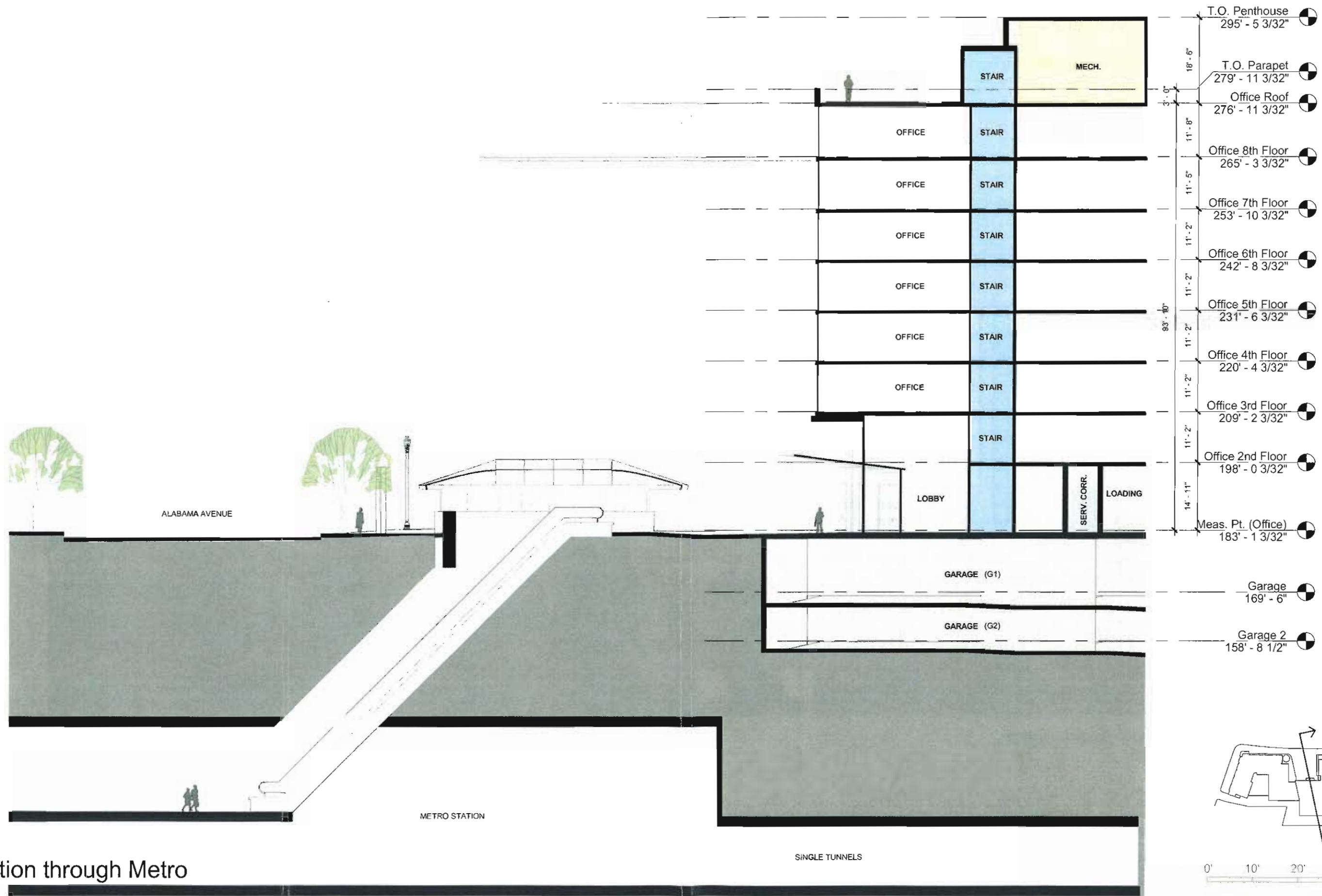
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Section - Longitudinal



Section through Metro

Congress Heights

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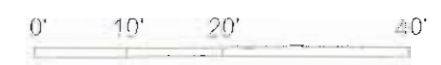
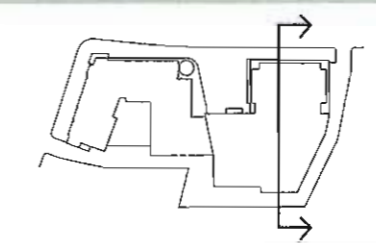


① Section - Office
1" = 20'-0"

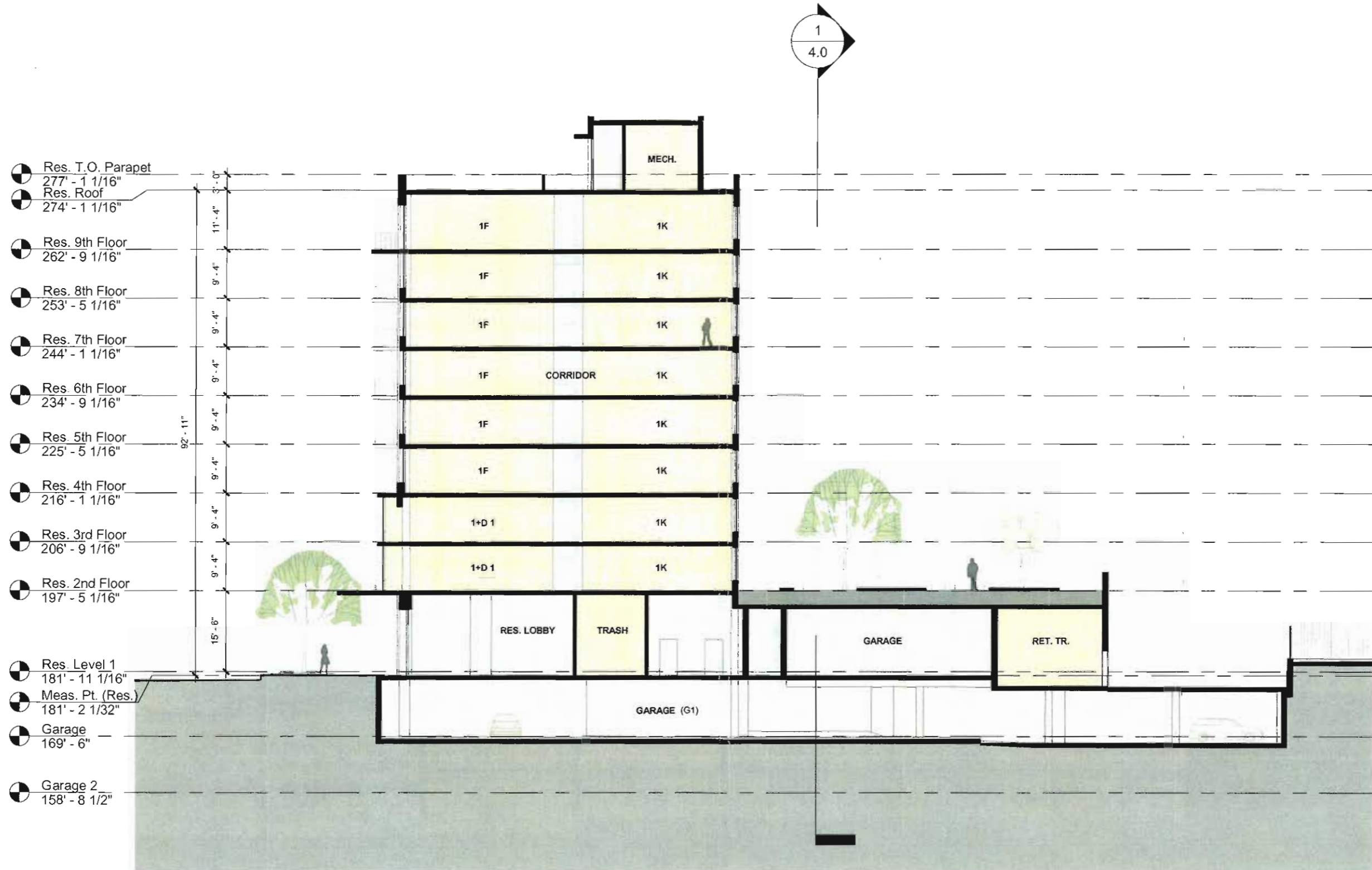
Section - Office

Congress Heights

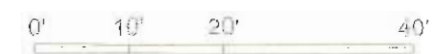
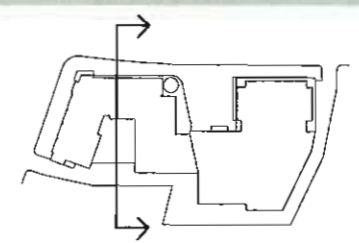
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① Section - Residential
1" = 20'-0"



Section - Residential

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① Axon of Typical Bay (Residential)



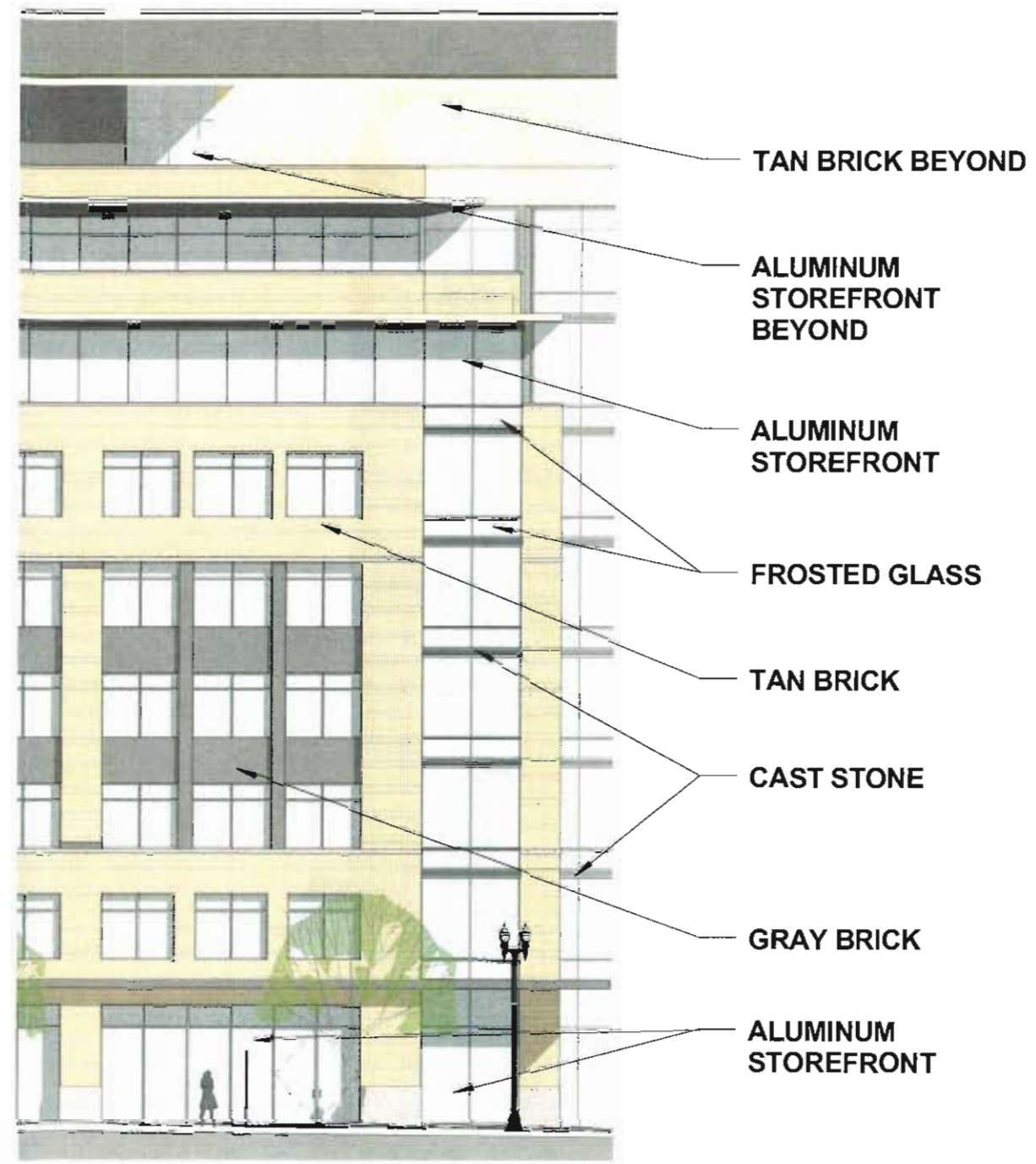
- CAST STONE
- FROSTED GLASS RAILING
- ALUMINUM STOREFRONT BEYOND
- METAL RAILING
- TAN BRICK
- RED BRICK
- GRAY BRICK
- ALUMINUM STOREFRONT

② Typical Bay Study - Residential
1/16" = 1'-0"

Typical Bay Study - Residential



① Axon of Typical Bay (Office)



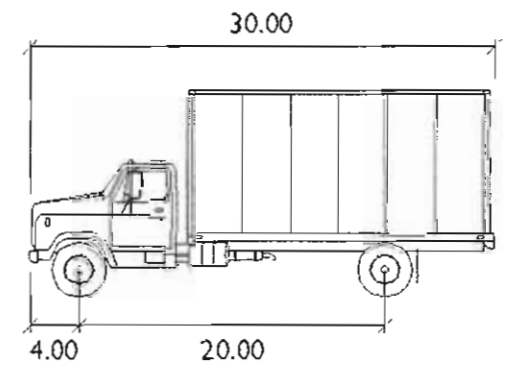
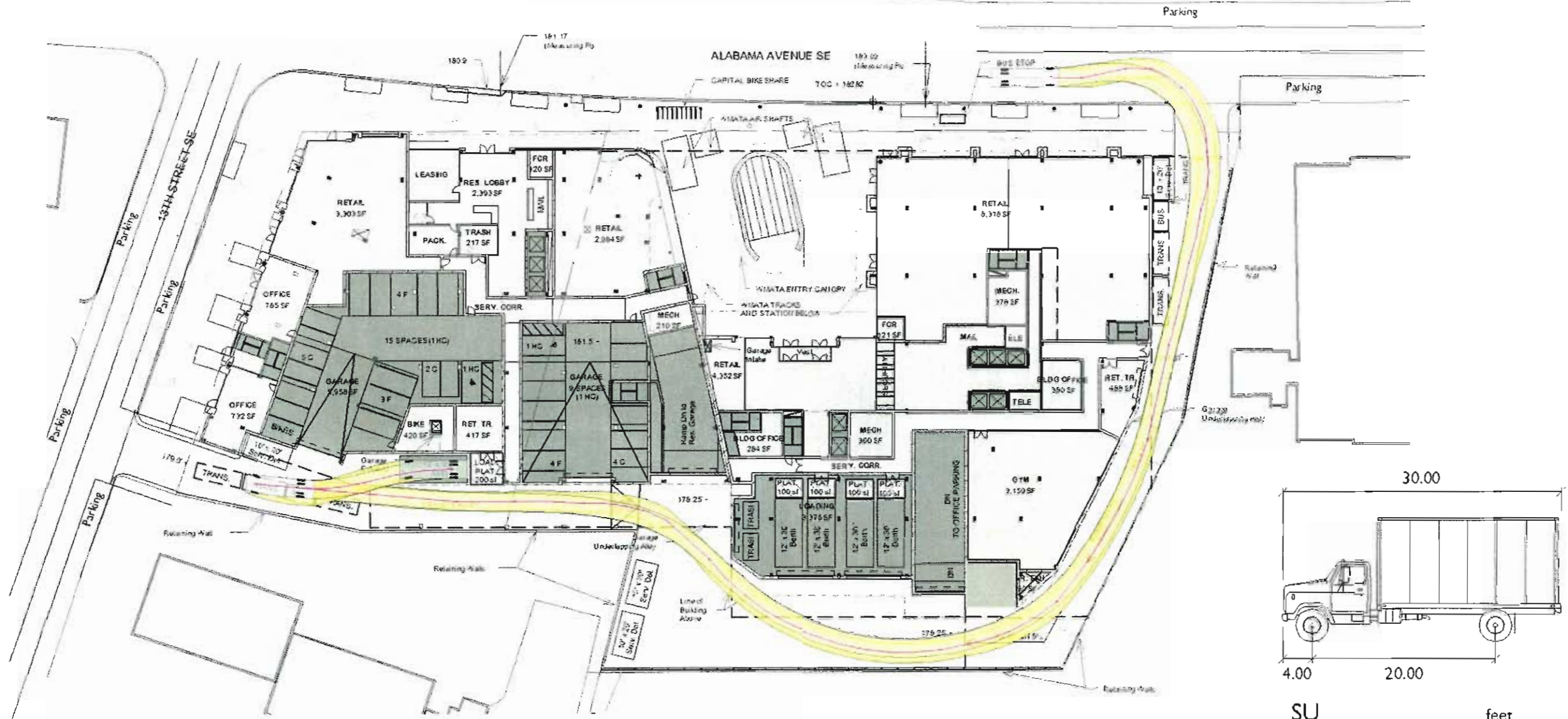
② Typical Bay Study - Office
1/16" = 1'-0"

Typical Bay Study - Office

Congress Heights

Square 5914, LLC

O:\PROJECTS\5501-6000\5726 ALABAMA AVENUE\GRAPHICS\AUTOTURNS\5726_AUTOTURNS - 4.17.2013.DWG



SU	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

SCALE: 1" = 50'

Figure 1
SU 30 Entering Eastbound From Alabama Avenue to Residential Loading Dock

- Vehicle Body
- Front Tire Tread
- Rear Tire Tread
- Directional Path
- Vehicle Path

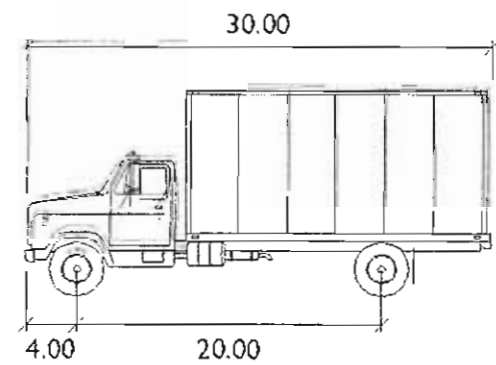
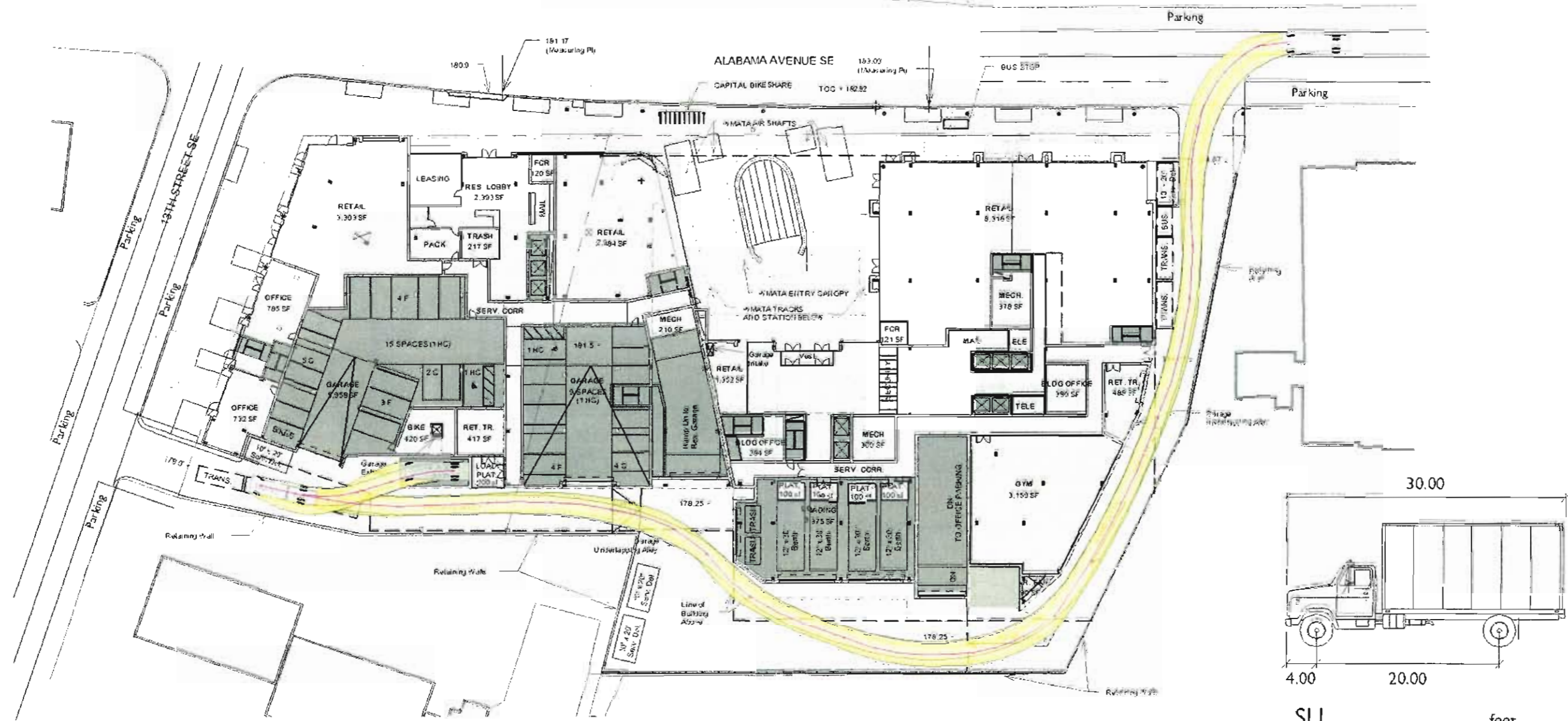


North



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Congress Heights
Square 5914, LLC



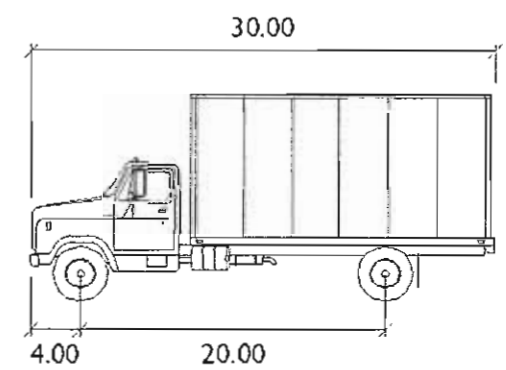
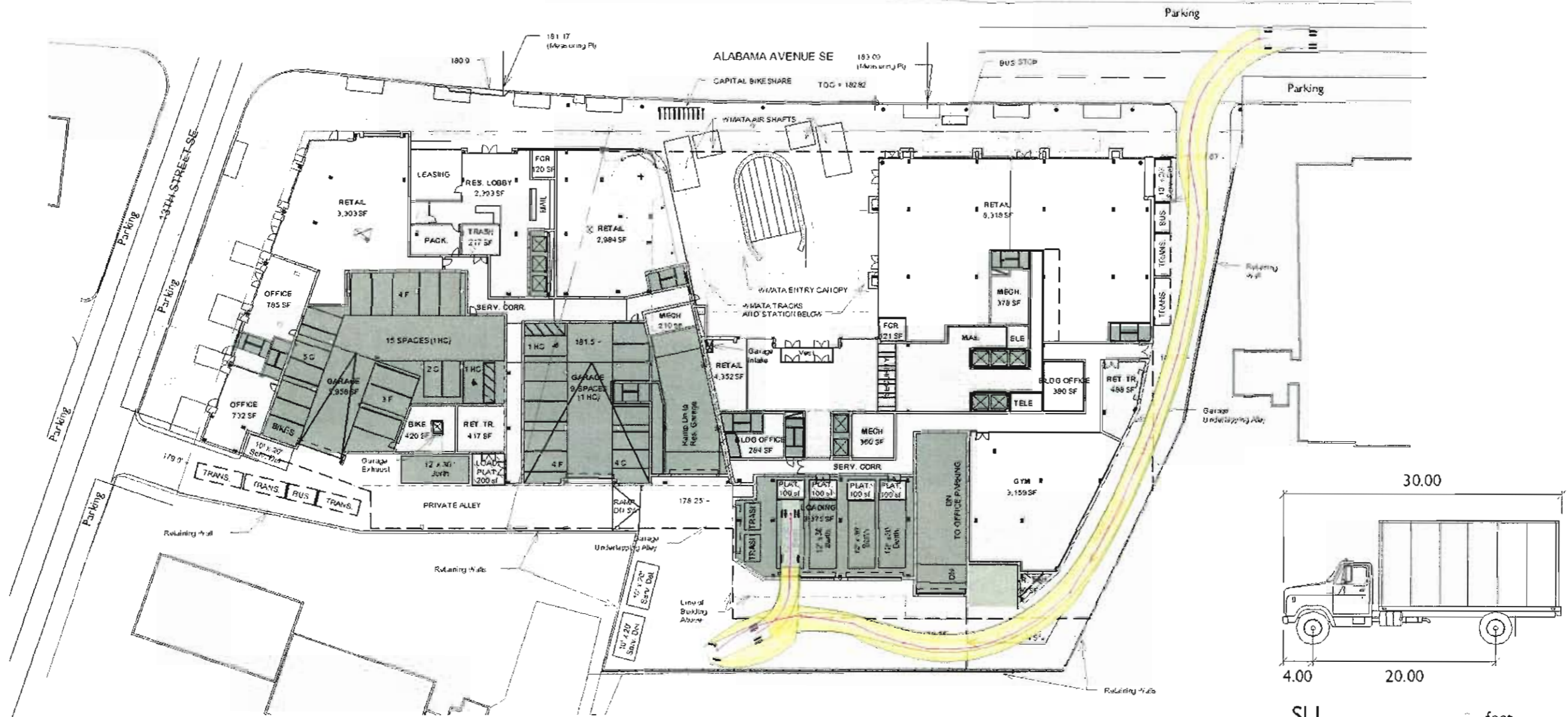
SU	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

SCALE: 1" = 50'

Figure 2
SU 30 Entering Westbound From Alabama Avenue to Residential Loading Dock

- Vehicle Body
- Front Tire Tread
- Rear Tire Tread
- Directional Path
- Vehicle Path





SU	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

SCALE: 1" = 50'

Figure 3
SU 30 Entering Westbound From Alabama Avenue to Western Commercial Loading Dock

- Vehicle Body
- Front Tire Tread
- Rear Tire Tread
- Directional Path
- Vehicle Path



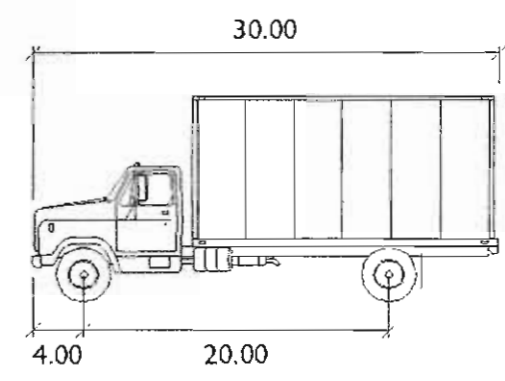
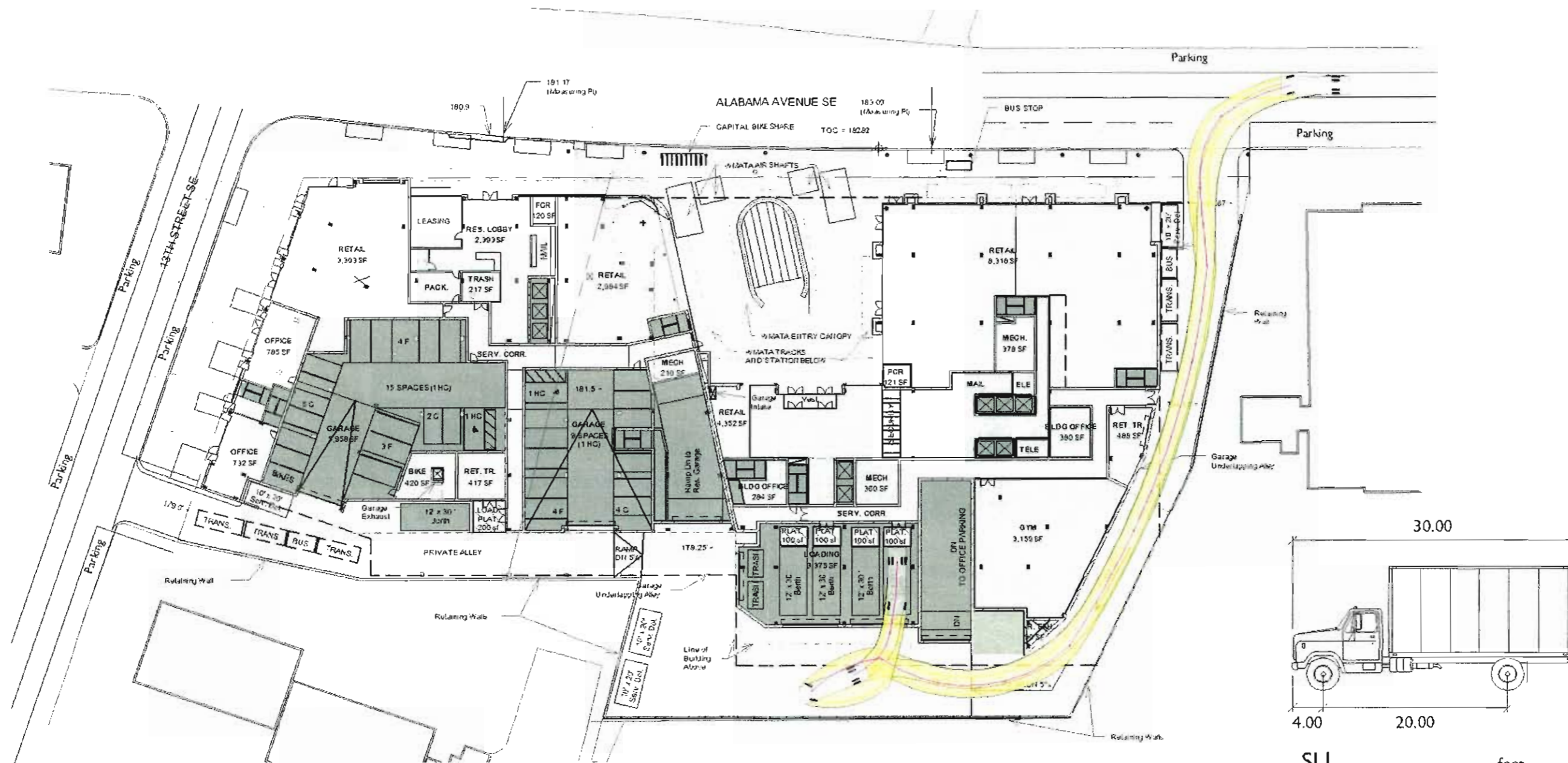
North



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SU	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

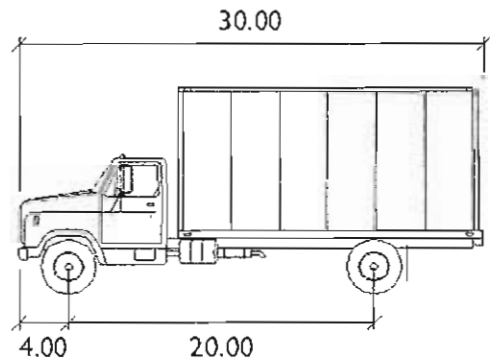
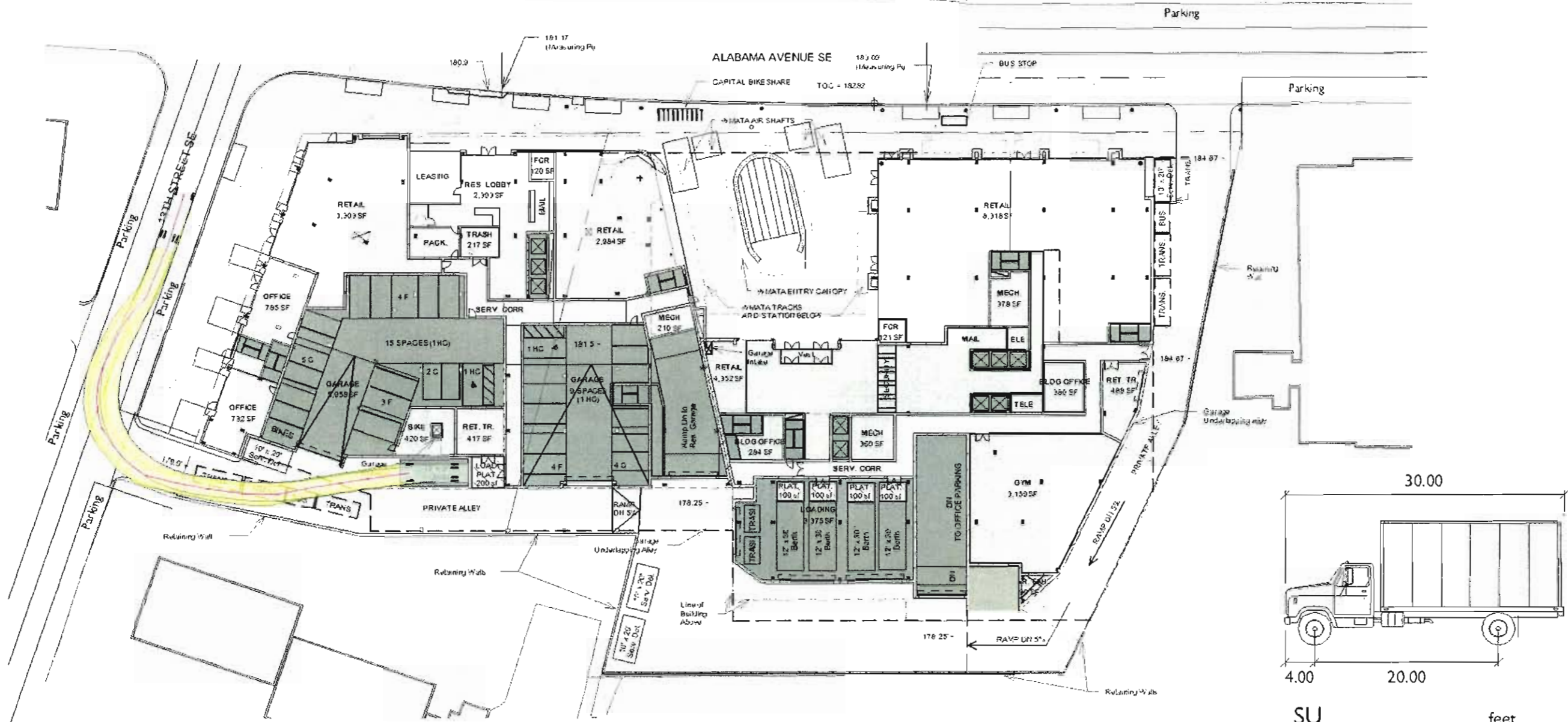
SCALE: 1" = 50'

Figure 4
SU 30 Entering Westbound From Alabama Avenue to Eastern Commercial Loading Dock

- Vehicle Body
- Front Tire Tread
- Rear Tire Tread
- Directional Path
- Vehicle Path



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SU	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

SCALE: 1" = 50'

Figure 5
SU 30 Exiting Residential Loading Dock

- Vehicle Body
- Front Tire Tread
- Rear Tire Tread
- Directional Path
- Vehicle Path



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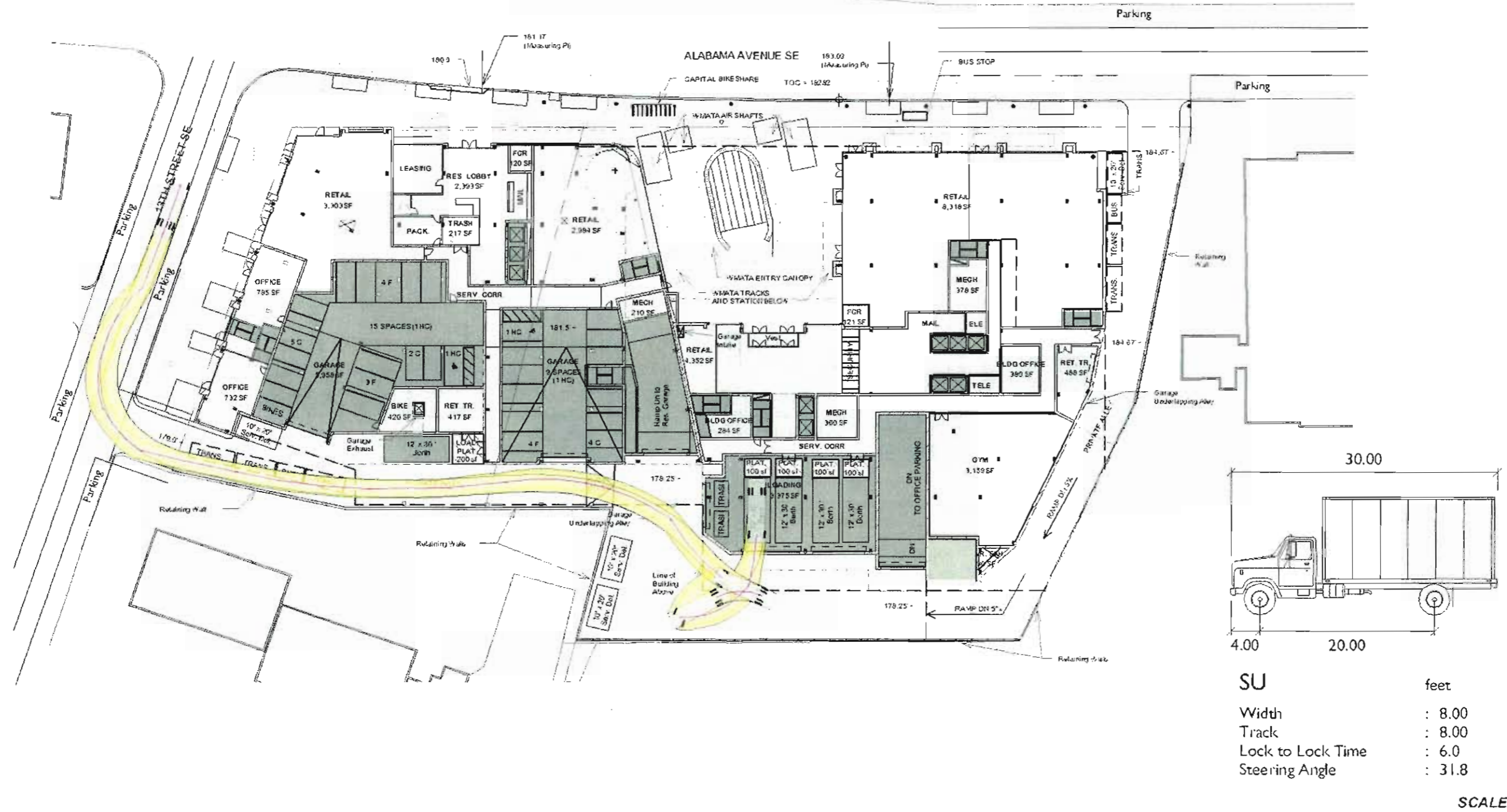
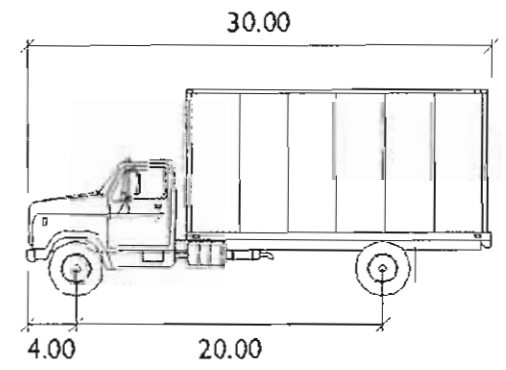
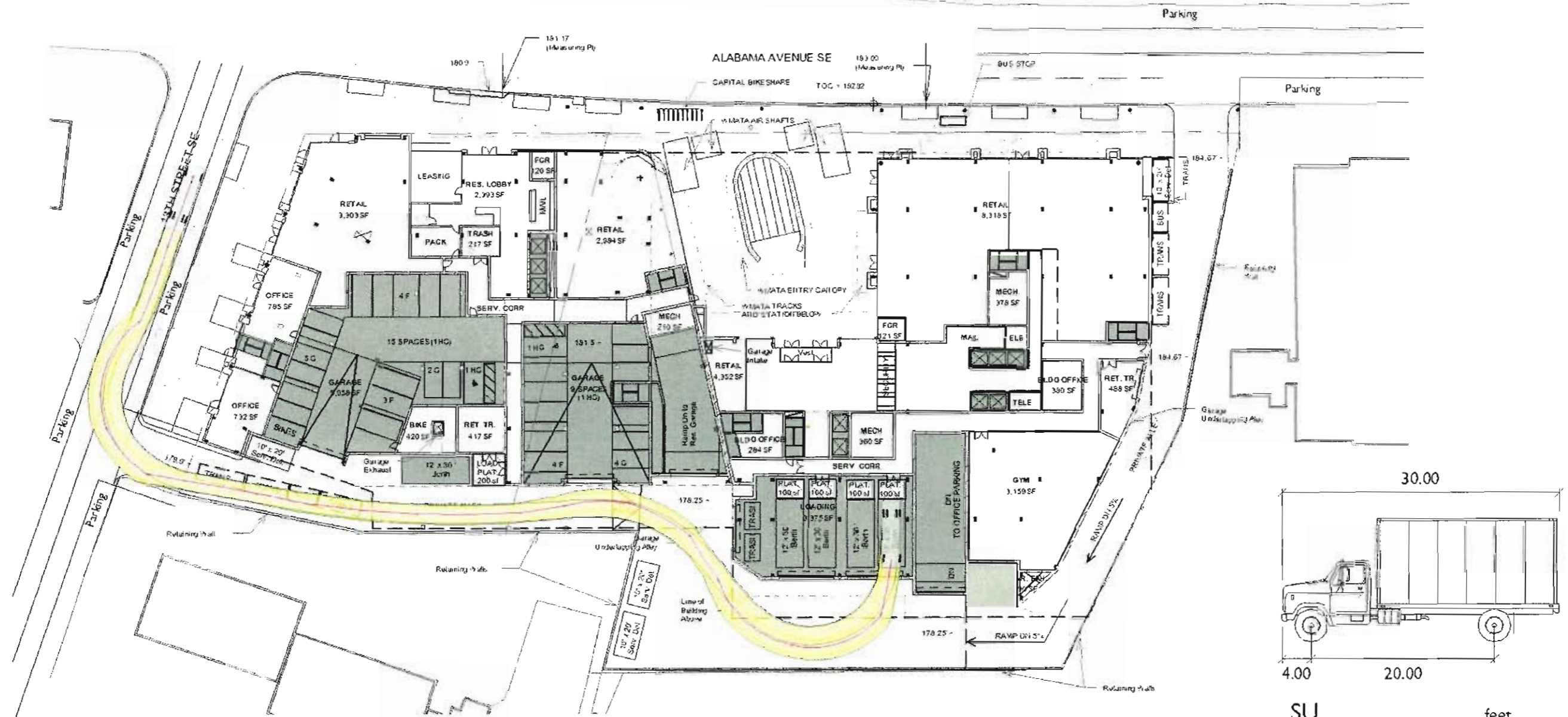


Figure 6
SU 30 Exiting Western Commercial Loading Dock

- Vehicle Body
- Front Tire Tread
- Rear Tire Tread
- Directional Path
- Vehicle Path





SU	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

SCALE: 1" = 50'

Figure 7
SU 30 Exiting Eastern Commercial Loading Dock

- Vehicle Body
- Front Tire Tread
- Rear Tire Tread
- Directional Path
- Vehicle Path



North



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Congress Heights

Square 5914, LLC

LEED 2009 for Core and Shell Development

Project Checklist

E = EASY M = MODERATE D = DIFFICULT



Congress Heights Office

Schematic Design

19 3 1 Sustainable Sites			Possible Points: 28
E	M	D	
Y			Prereq 1 Construction Activity Pollution Prevention
1			Credit 1 Site Selection 1
5			Credit 2 Development Density and Community Connectivity 5
			Credit 3 Brownfield Redevelopment 1
6			Credit 4.1 Alternative Transportation—Public Transportation Access 6
1			Credit 4.2 Alternative Transportation—Bicycle Storage and Changing Rooms 2
3			Credit 4.3 Alternative Transportation—Low-Emitting and Fuel-Efficient Vehicles 3
2			Credit 4.4 Alternative Transportation—Parking Capacity 2
	1		Credit 5.1 Site Development—Protect or Restore Habitat 1
	1		Credit 5.2 Site Development—Maximize Open Space 1
		1	Credit 6.1 Stormwater Design—Quantity Control 1
		1	Credit 6.2 Stormwater Design—Quality Control 1
		1	Credit 7.1 Heat Island Effect—Non-roof 1
			Credit 7.2 Heat Island Effect—Roof 1
			Credit 8 Light Pollution Reduction 1
			Credit 9 Tenant Design and Construction Guidelines 1

4 4 Water Efficiency			Possible Points: 10
E	M	D	
Y			Prereq 1 Water Use Reduction—20% Reduction
2	2		Credit 1 Water Efficient Landscaping 2 to 4
			Credit 2 Innovative Wastewater Technologies 2
2	2		Credit 3 Water Use Reduction 2 to 4

4 11 3 Energy and Atmosphere			Possible Points: 37
E	M	D	
Y			Prereq 1 Fundamental Commissioning of Building Energy Systems
Y			Prereq 2 Minimum Energy Performance
Y			Prereq 3 Fundamental Refrigerant Management
4	2		Credit 1 Optimize Energy Performance 3 to 21
			Credit 2 On-Site Renewable Energy 4
	2		Credit 3 Enhanced Commissioning 2
		2	Credit 4 Enhanced Refrigerant Management 2
		3	Credit 5.1 Measurement and Verification—Base Building 3
		3	Credit 5.2 Measurement and Verification—Tenant Submetering 3
		2	Credit 6 Green Power 2

4 2 Materials and Resources			Possible Points: 13
E	M	D	
Y			Prereq 1 Storage and Collection of Recyclables
			Credit 1 Building Reuse—Maintain Existing Walls, Floors, and Roof 1 to 5
2			Credit 2 Construction Waste Management 1 to 2
			Credit 3 Materials Reuse 1
1	1		Credit 4 Recycled Content 1 to 2
1	1		Credit 5 Regional Materials 1 to 2
			Credit 6 Certified Wood 1

5 2 Indoor Environmental Quality			Possible Points: 12
E	M	D	
Y			Prereq 1 Minimum Indoor Air Quality Performance
Y			Prereq 2 Environmental Tobacco Smoke (ETS) Control
			Credit 1 Outdoor Air Delivery Monitoring 1
			Credit 2 Increased Ventilation 1
1			Credit 3 Construction IAQ Management Plan—During Construction 1
1			Credit 4.1 Low-Emitting Materials—Adhesives and Sealants 1
1			Credit 4.2 Low-Emitting Materials—Paints and Coatings 1
1			Credit 4.3 Low-Emitting Materials—Flooring Systems 1
			Credit 4.4 Low-Emitting Materials—Composite Wood and Agrifiber Products 1
	1		Credit 5 Indoor Chemical and Pollutant Source Control 1
			Credit 6 Controllability of Systems—Thermal Comfort 1
			Credit 7 Thermal Comfort—Design 1
			Credit 8.1 Daylight and Views—Daylight 1
1			Credit 8.2 Daylight and Views—Views 1

4 2 Innovation and Design Process			Possible Points: 6
E	M	D	
1			Credit 1.1 Innovation in Design: Exemplary Performance, Public Transportation 1
1			Credit 1.2 Innovation in Design: Exemplary Performance, Heat Island Effect, No 1
1			Credit 1.3 Innovation in Design: Appliance and Process Water Use Reduction 1
	1		Credit 1.4 Innovation in Design: TBD 1
		1	Credit 1.5 Innovation in Design: TBD 1
1			Credit 2 LEED Accredited Professional 1

1 Regional Priority Credits			Possible Points: 4
E	M	D	
			Credit 1.1 Regional Priority: EAc2 1
			Credit 1.2 Regional Priority: SSc5.1 1
1			Credit 1.3 Regional Priority: SSc6.1 1
			Credit 1.4 Regional Priority: WEc2 1

40 25 4 Total			Possible Points: 110
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Certified 40 to 49 points Silver 50 to 59 points Gold 60 to 79 points Platinum 80 to 110

LEED Scorecard - Core & Shell - Office

LEED 2009 for New Construction and Major Renovation

Project Checklist

E = EASY M = MODERATE D = DIFFICULT



Congress Heights Residential

Schematic Design

19 3 1 Sustainable Sites Possible Points: 26

E	M	D	Y	Prereq	Description	Points
			Y	Prereq 1	Construction Activity Pollution Prevention	
1				Credit 1	Site Selection	1
5				Credit 2	Development Density and Community Connectivity	5
				Credit 3	Brownfield Redevelopment	1
6				Credit 4.1	Alternative Transportation—Public Transportation Access	6
1				Credit 4.2	Alternative Transportation—Bicycle Storage and Changing Rooms	1
3				Credit 4.3	Alternative Transportation—Low-Emitting and Fuel-Efficient Vehicles	3
2				Credit 4.4	Alternative Transportation—Parking Capacity	2
			1	Credit 5.1	Site Development—Protect or Restore Habitat	1
			1	Credit 5.2	Site Development—Maximize Open Space	1
			1	Credit 6.1	Stormwater Design—Quantity Control	1
			1	Credit 6.2	Stormwater Design—Quality Control	1
1				Credit 7.1	Heat Island Effect—Non-roof	1
				Credit 7.2	Heat Island Effect—Roof	1
				Credit 8	Light Pollution Reduction	1

2 4 Water Efficiency Possible Points: 10

E	M	D	Y	Prereq	Description	Points
			Y	Prereq 1	Water Use Reduction—20% Reduction	
2	2			Credit 1	Water Efficient Landscaping	2 to 4
				Credit 2	Innovative Wastewater Technologies	2
			2	Credit 3	Water Use Reduction	2 to 4

4 7 Energy and Atmosphere Possible Points: 35

E	M	D	Y	Prereq	Description	Points
			Y	Prereq 1	Fundamental Commissioning of Building Energy Systems	
			Y	Prereq 2	Minimum Energy Performance	
			Y	Prereq 3	Fundamental Refrigerant Management	
3	3			Credit 1	Optimize Energy Performance	1 to 19
				Credit 2	On-Site Renewable Energy	1 to 7
			2	Credit 3	Enhanced Commissioning	2
				Credit 4	Enhanced Refrigerant Management	2
1				Credit 5	Measurement and Verification	3
			2	Credit 6	Green Power	2

4 2 Materials and Resources Possible Points: 14

E	M	D	Y	Prereq	Description	Points
			Y	Prereq 1	Storage and Collection of Recyclables	
				Credit 1.1	Building Reuse—Maintain Existing Walls, Floors, and Roof	1 to 3
				Credit 1.2	Building Reuse—Maintain 50% of Interior Non-Structural Elements	1
2				Credit 2	Construction Waste Management	1 to 2
				Credit 3	Materials Reuse	1 to 2

Materials and Resources, Continued

E	M	D	Y	Prereq	Description	Points
1	1			Credit 4	Recycled Content	1 to 2
1	1			Credit 5	Regional Materials	1 to 2
				Credit 6	Rapidly Renewable Materials	1
				Credit 7	Certified Wood	1

6 2 Indoor Environmental Quality Possible Points: 15

E	M	D	Y	Prereq	Description	Points
			Y	Prereq 1	Minimum Indoor Air Quality Performance	
			Y	Prereq 2	Environmental Tobacco Smoke (ETS) Control	
				Credit 1	Outdoor Air Delivery Monitoring	1
				Credit 2	Increased Ventilation	1
1				Credit 3.1	Construction IAQ Management Plan—During Construction	1
				Credit 3.2	Construction IAQ Management Plan—Before Occupancy	1
1				Credit 4.1	Low-Emitting Materials—Adhesives and Sealants	1
1				Credit 4.2	Low-Emitting Materials—Paints and Coatings	1
1				Credit 4.3	Low-Emitting Materials—Flooring Systems	1
				Credit 4.4	Low-Emitting Materials—Composite Wood and Agrifiber Products	1
			1	Credit 5	Indoor Chemical and Pollutant Source Control	1
				Credit 6.1	Controllability of Systems—Lighting	1
			1	Credit 6.2	Controllability of Systems—Thermal Comfort	1
			1	Credit 7.1	Thermal Comfort—Design	1
				Credit 7.2	Thermal Comfort—Verification	1
				Credit 8.1	Daylight and Views—Daylight	1
1				Credit 8.2	Daylight and Views—Views	1

4 2 Innovation and Design Process Possible Points: 6

E	M	D	Y	Prereq	Description	Points
1				Credit 1.1	Innovation in Design: Exemplary Performance, Public Transportation Access	1
1				Credit 1.2	Innovation in Design: Exemplary Performance, Heat Island Effect, Non-roof	1
1				Credit 1.3	Innovation in Design: Appliance and Process Water Use Reduction	1
			1	Credit 1.4	Innovation in Design: TBD	1
			1	Credit 1.5	Innovation in Design: TBD	1
1				Credit 2	LEED Accredited Professional	1

1 Regional Priority Credits Possible Points: 4

E	M	D	Y	Prereq	Description	Points
				Credit 1.1	Regional Priority: EAc2	1
				Credit 1.2	Regional Priority: SSc5.1	1
			1	Credit 1.3	Regional Priority: SSc6.1	1
				Credit 1.4	Regional Priority: WEc2	1

39 21 1 Total Possible Points: 110

Platinum 80 to 110 points Gold 60 to 79 points Silver 50 to 59 points Certified 40 to 49 points

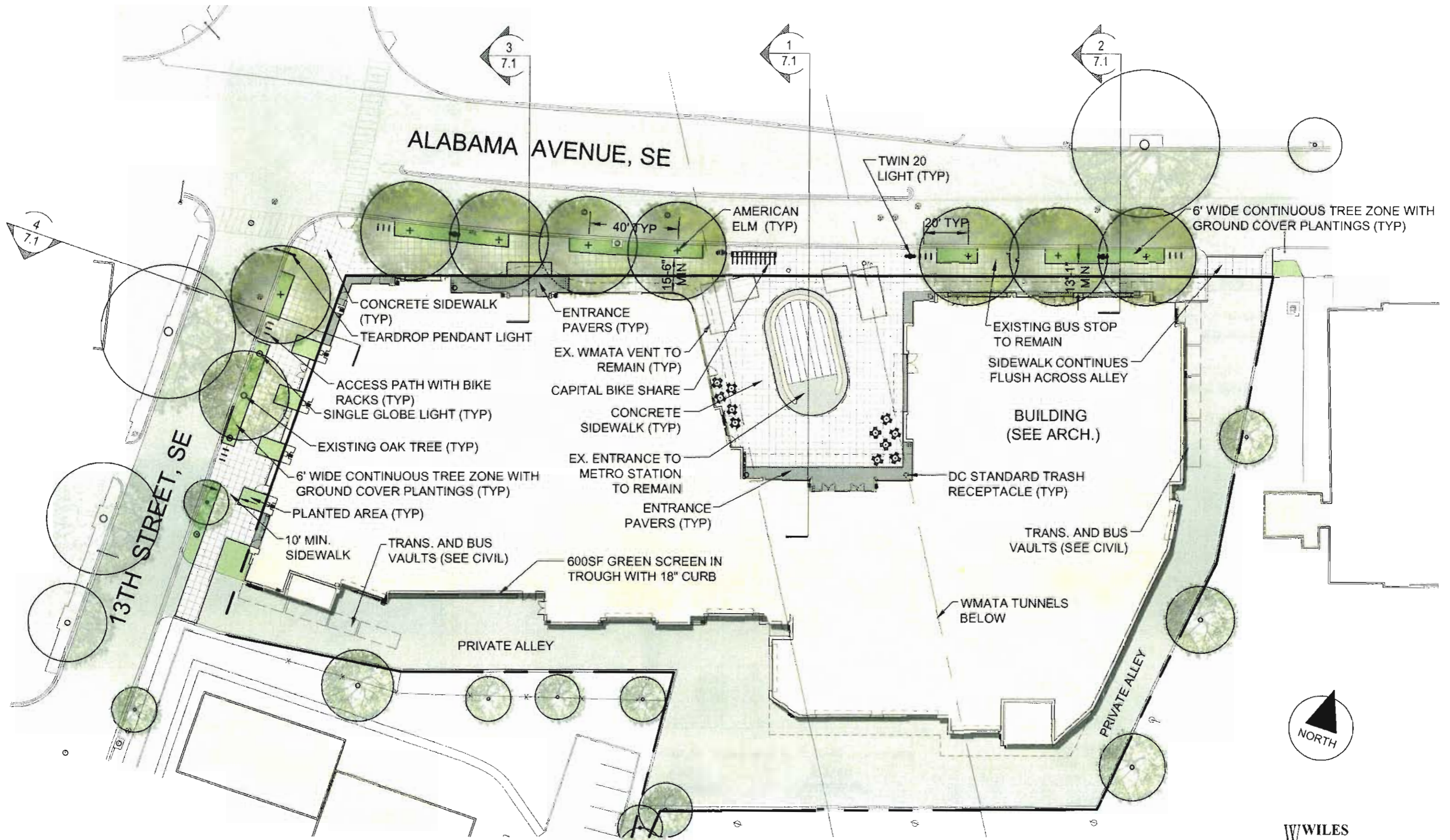
LEED Scorecard - New Construction - Residential

Congress Heights Metro GAR Spreadsheet 4/25/13		sq ft of parcel	minimum score determined by zone	
Parcel size (enter this value first) *		88,946	SCORE	0.254
Landscape Elements**		Square Feet	Factor	Total
A Landscaped areas (select one of the following for each area)				
		enter sq ft		
1	Landscaped areas with a soil depth of less than 24"	0	0.3	-
		enter sq ft		
2	Landscaped areas with a soil depth of 24" or greater	0	0.6	-
		enter sq ft		
3	Bioretention facilities (raingarden)	0	0.4	-
B Plantings (credit for plants in landscaped areas from Section A)				
		enter sq ft		
1	Mulch, ground covers, or other plants less than 2' tall at maturity	0	0.2	-
		enter number of plants		
2	Plants 2' or taller at maturity - calculated at 16 sq ft per plant (typically planted no closer than 18" on center)	0	600	0.3
		enter number of trees		
4	Tree canopy for all new trees 2.5" to 6" in diameter or equivalent - calculated at 50 sq ft per tree	0	0	0.5
		enter number of trees		
5	Tree canopy for new trees 6" to 12" in diameter or larger or equivalent - calculated at 250 sq ft per tree	0	0	0.6
		enter number of trees		
6	Tree canopy for new trees 12" to 18" in diameter or larger or equivalent - calculated at 600 sq ft per tree	0	0	0.6
		enter number of trees	25,144.0	
7	Tree canopy for preservation of all existing trees 18" to 24" in diameter or equivalent - calculated at 1300 sq ft per tree	0	0	0.7
		enter number of trees		
8	Tree canopy for preservation of all existing trees 24" in diameter or larger or equivalent - calculated at 2000 sq ft per tree	0	0	0.8
		enter sq ft		
9	Vegetated wall, plantings on a vertical surface	600	9000	0.6
				5,400.0
C Vegetated or "green" roofs				
		enter sq ft		
1	Over at least 2" and less than 8" of growth medium	28,340	0.6	17,004.0
		enter sq ft		
2	Over at least 8" of growth medium	0	0.8	-
		enter sq ft		
D Renewable energy generation				
		0	0.5	-

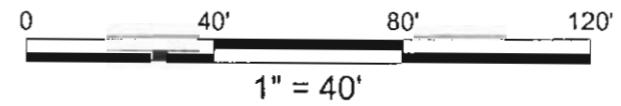
E	Approved water features	enter sq ft	0	0.2	-
		enter sq ft			
F Permeable paving***					
		enter sq ft			
1	Permeable paving over at least 6" and less than 24" of soil or gravel	0	0.4	-	
		enter sq ft			
2	Permeable paving over at least 24" of soil or gravel	0	0.5	-	
		enter sq ft			
G Structural soil systems***					
		0	0.4	-	
		enter sq ft			
		sub-total of sq ft =	37,940		
H Bonuses					
		enter sq ft			
1	Drought-tolerant or native plant species	0	0.1	-	
		enter sq ft			
2	Landscaping in food cultivation	0	0.1	-	
		enter sq ft			
3	Harvested stormwater irrigation	0	0.1	-	
		enter sq ft			
		Green Area Ratio numerator =	22,584		

*** Permeable paving and structural soil together may not qualify for more than one third of the Green Area Ratio score.

Green Area Ratio Calculations

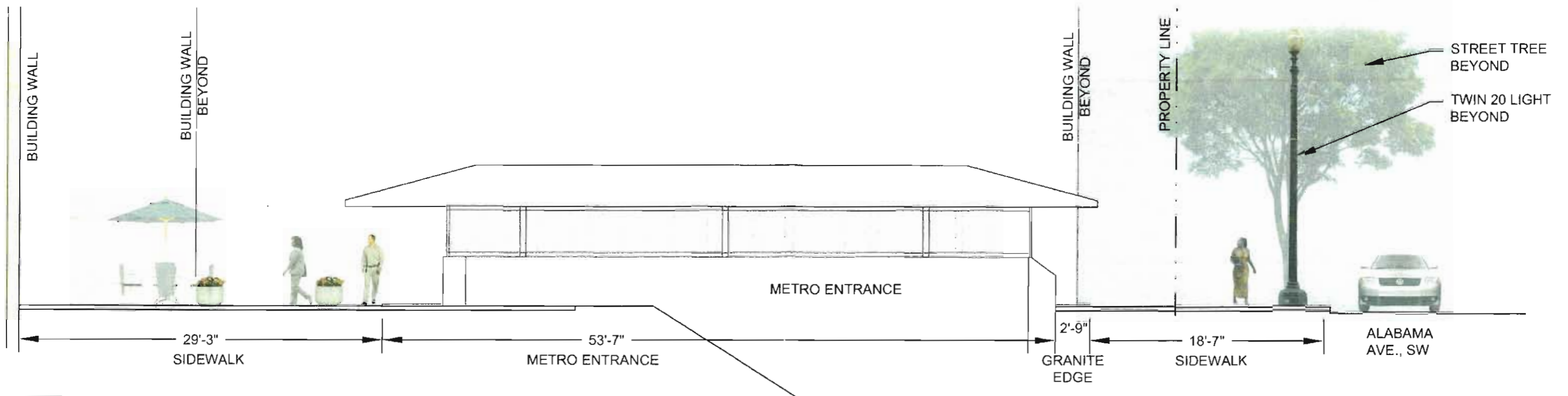


Site Plan
 Congress Heights
 Square 5914, LLC

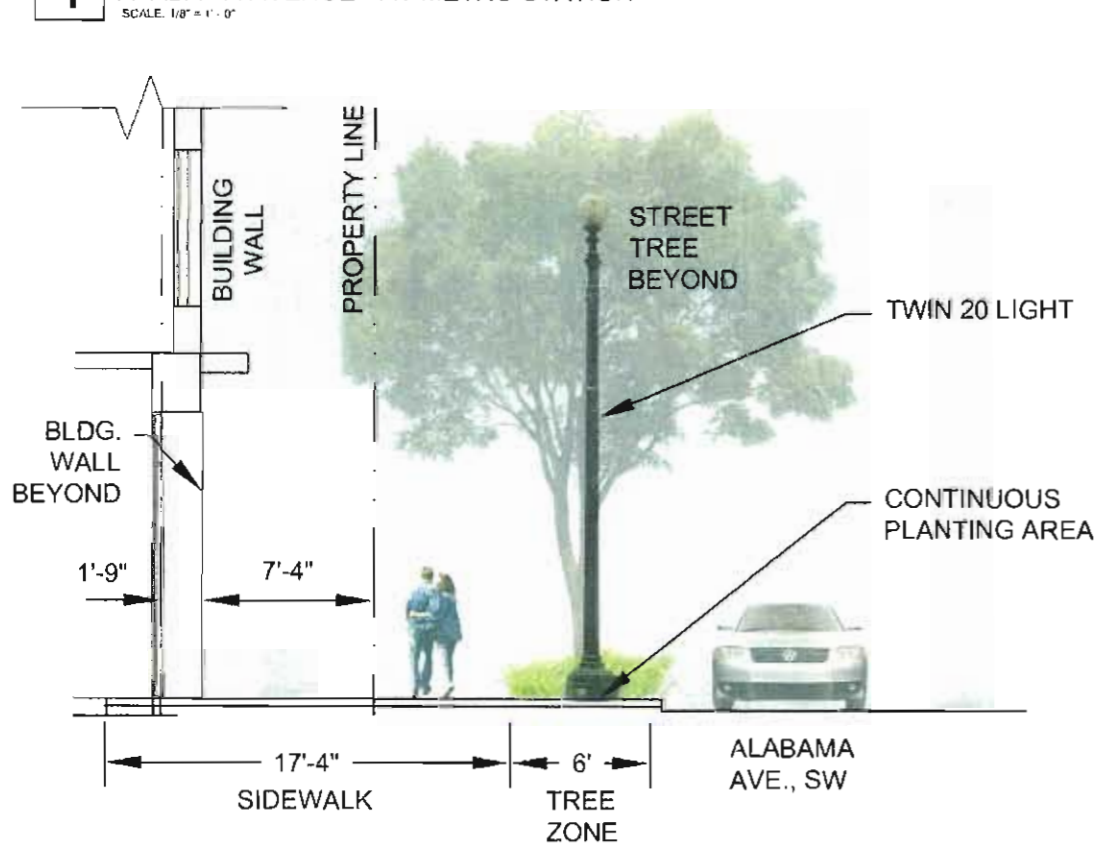


WILES
 MENSCH
 CORPORATION

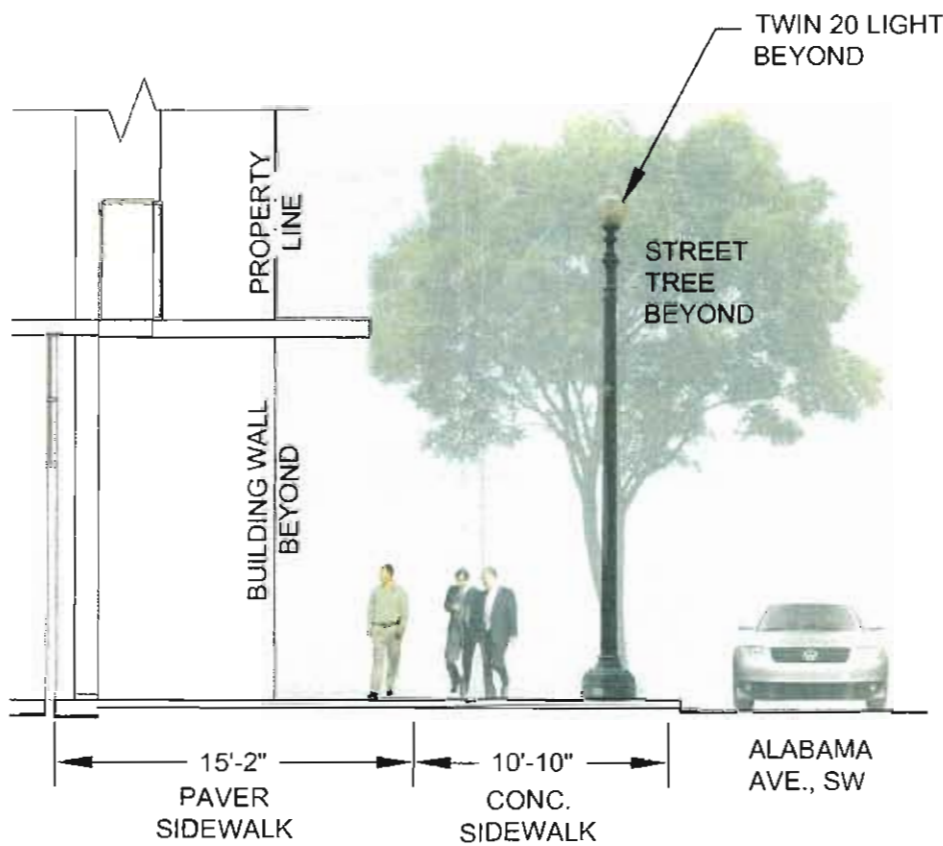
maurice walters architect



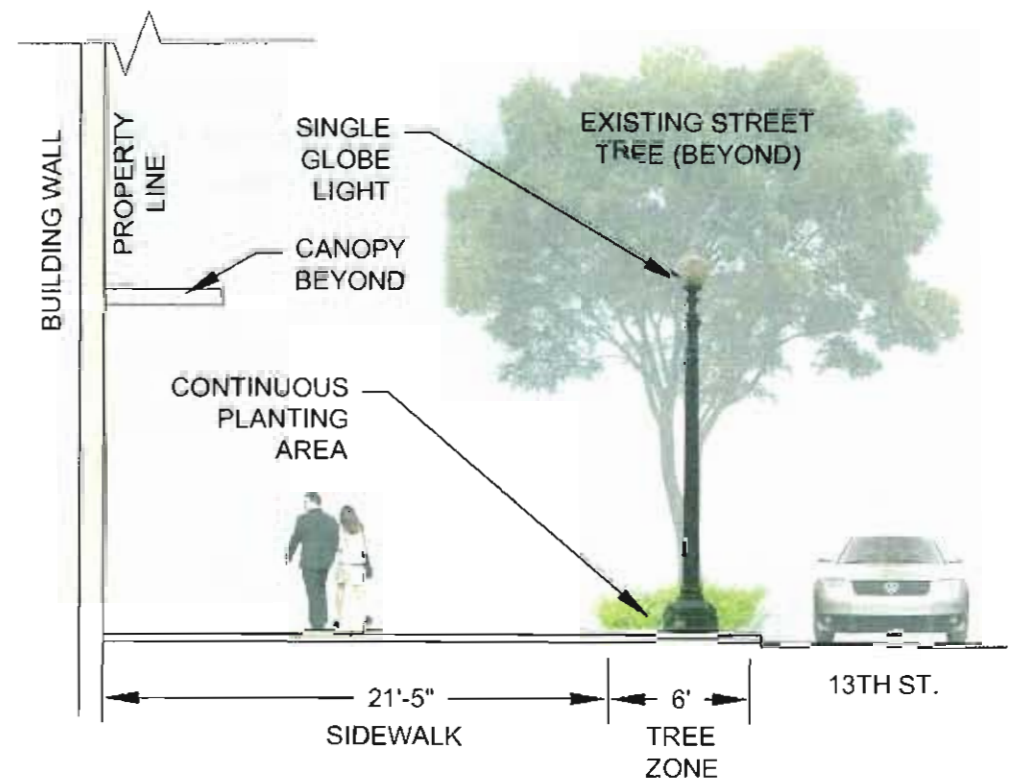
1 STREETScape SECTION
ALABAMA AVENUE - AT METRO STATION
SCALE: 1/8" = 1'-0"



2 STREETScape SECTION
ALABAMA AVENUE - OFFICE
SCALE: 1/8" = 1'-0"



3 STREETScape SECTION
ALABAMA AVENUE - AT RETAIL ENTRANCE
SCALE: 1/8" = 1'-0"

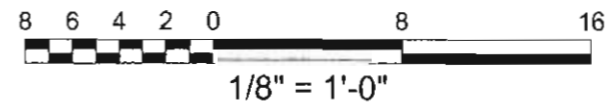


4 STREETScape SECTION
13TH STREET - TYPICAL
SCALE: 1/8" = 1'-0"

Site Sections

Congress Heights

Square 5914, LLC



maurice walters architect



SCORED CONCRETE SIDEWALK



ENTRANCE PAVERS



CONTINUOUS TREE PLANTING ZONE WITH METAL FENCE



CAPITAL BIKESHARE STATION



DC STANDARD BIKE RACKS



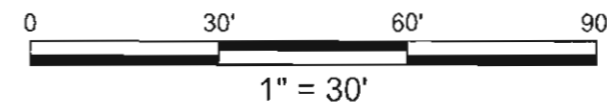
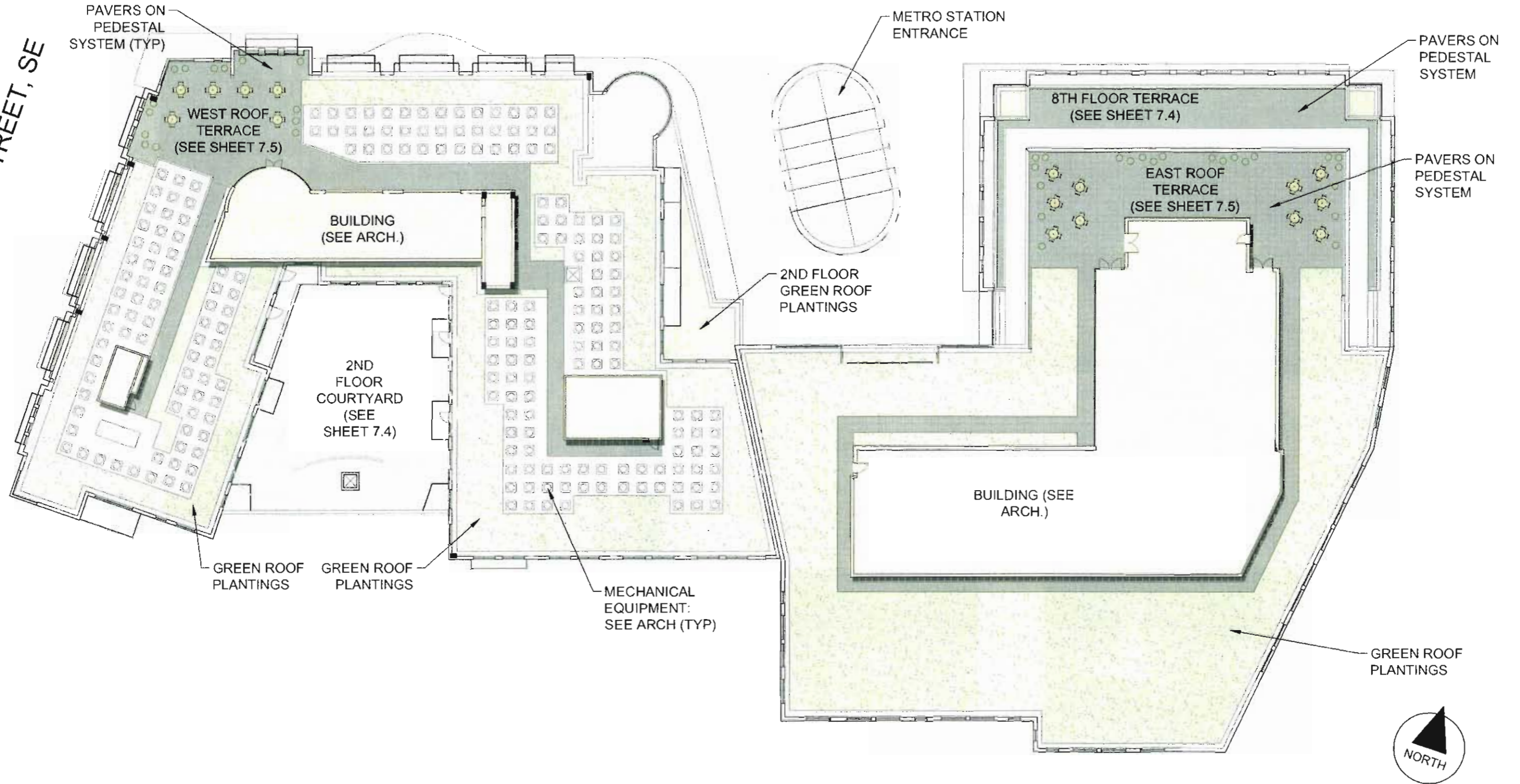
SINGLE GLOBE LIGHT & DC STANDARD TRASH RECEPTACLE

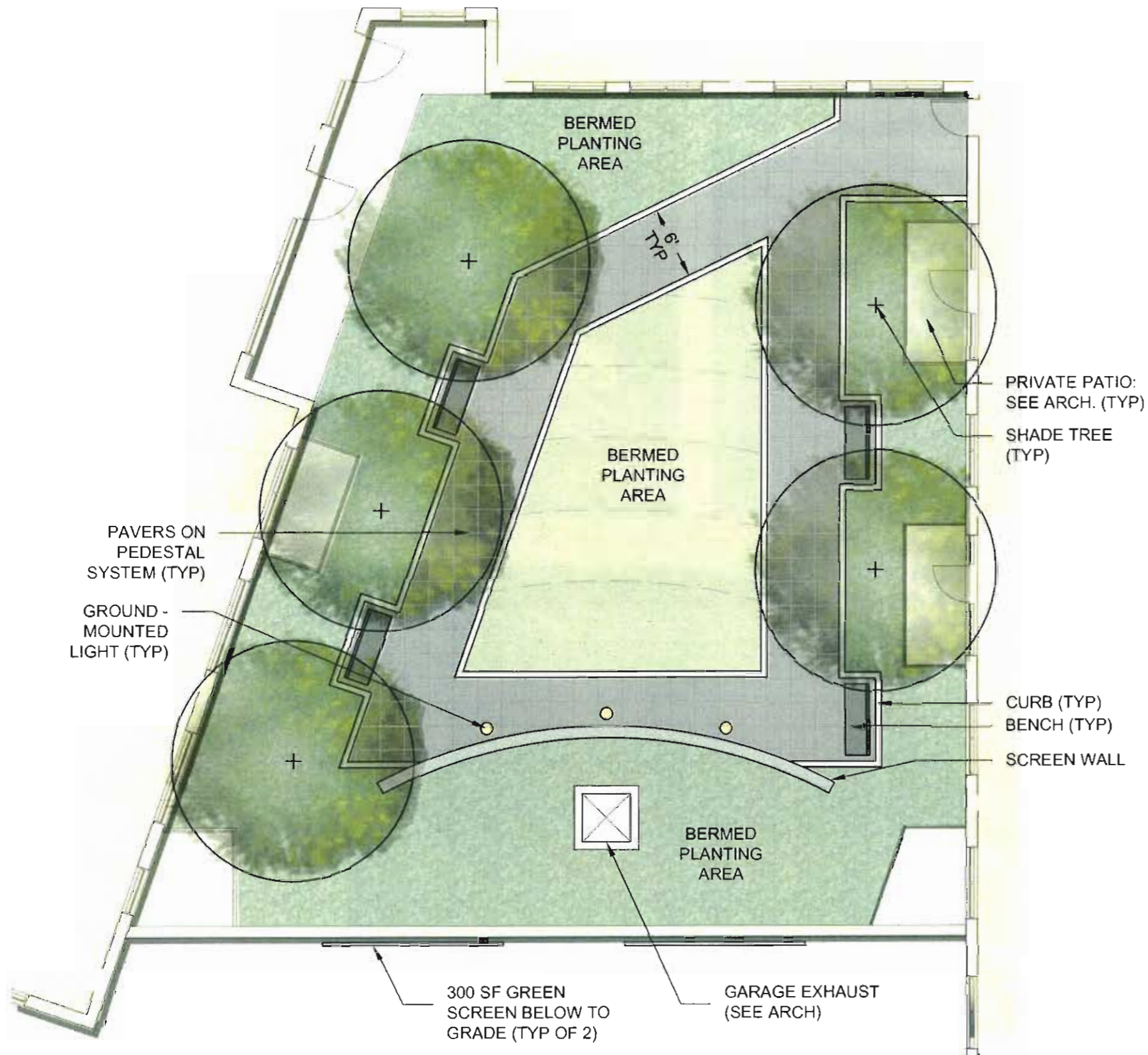


TWIN 20 DOUBLE GLOBE LIGHT

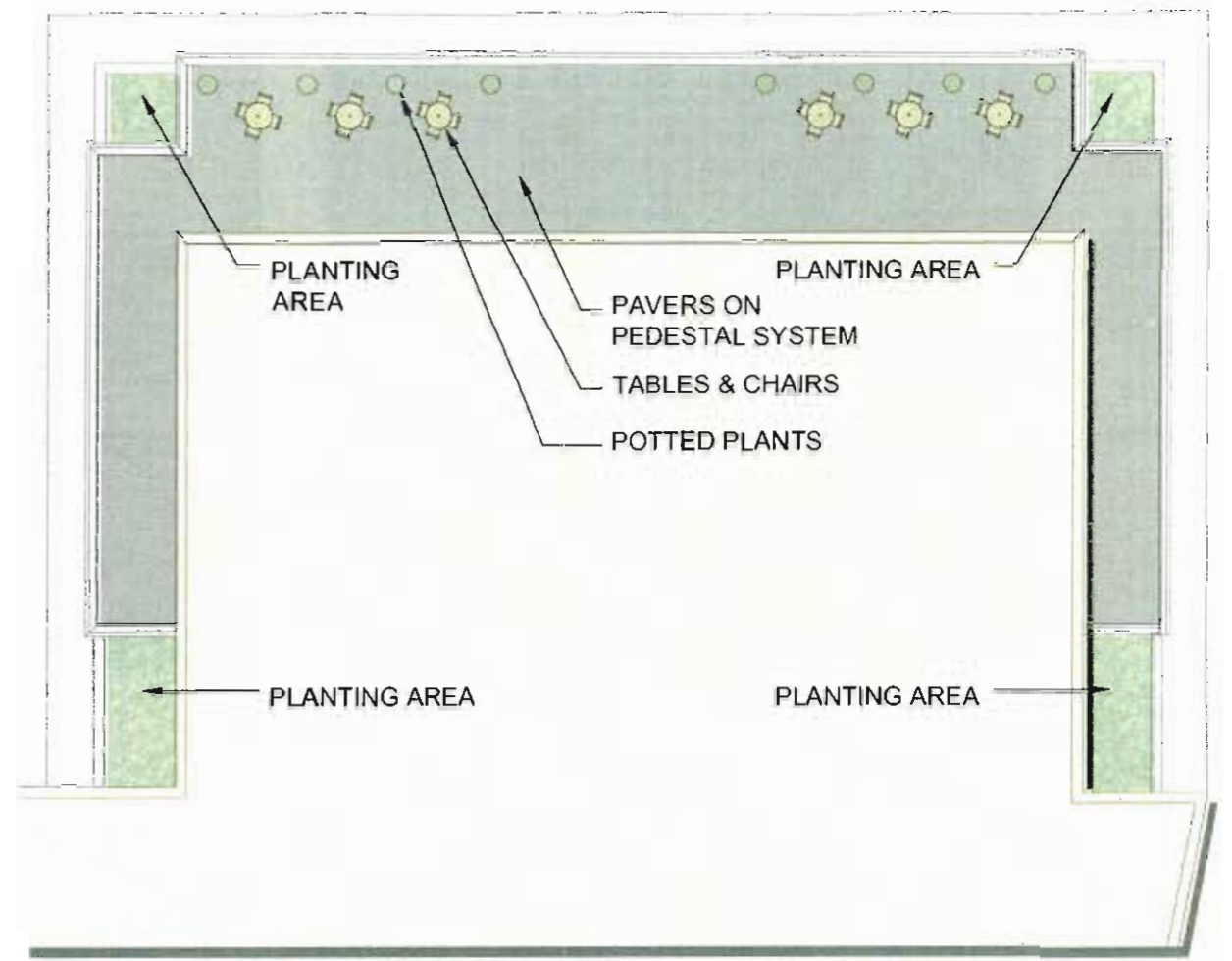
Design Palette - Streetscape
Congress Heights

Square 5914, LLC

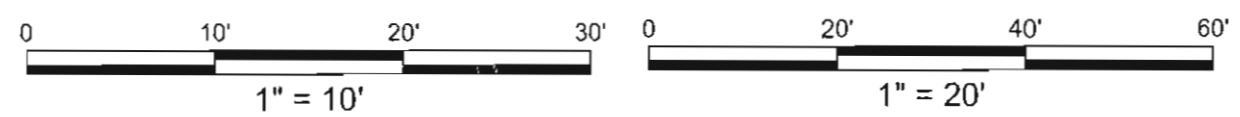




1 2ND FLOOR COURTYARD PLAN
SCALE: 1" = 10'



2 8TH FLOOR TERRACE PLAN
SCALE: 1" = 20'



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ROOFTOP COURTYARD



ROOFTOP COURTYARD
PAVERS AND SEDUM CARPET



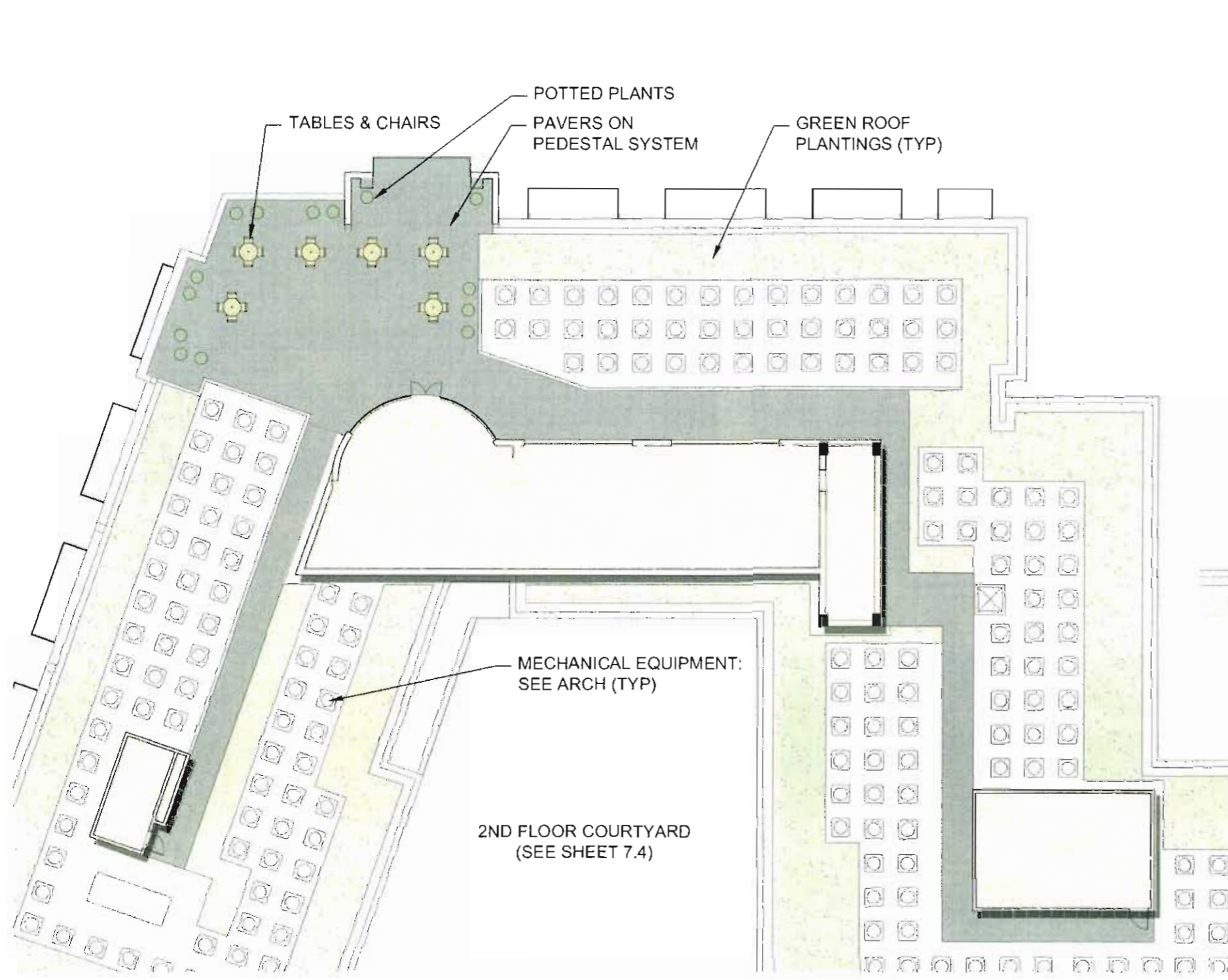
ROOFTOP PAVERS



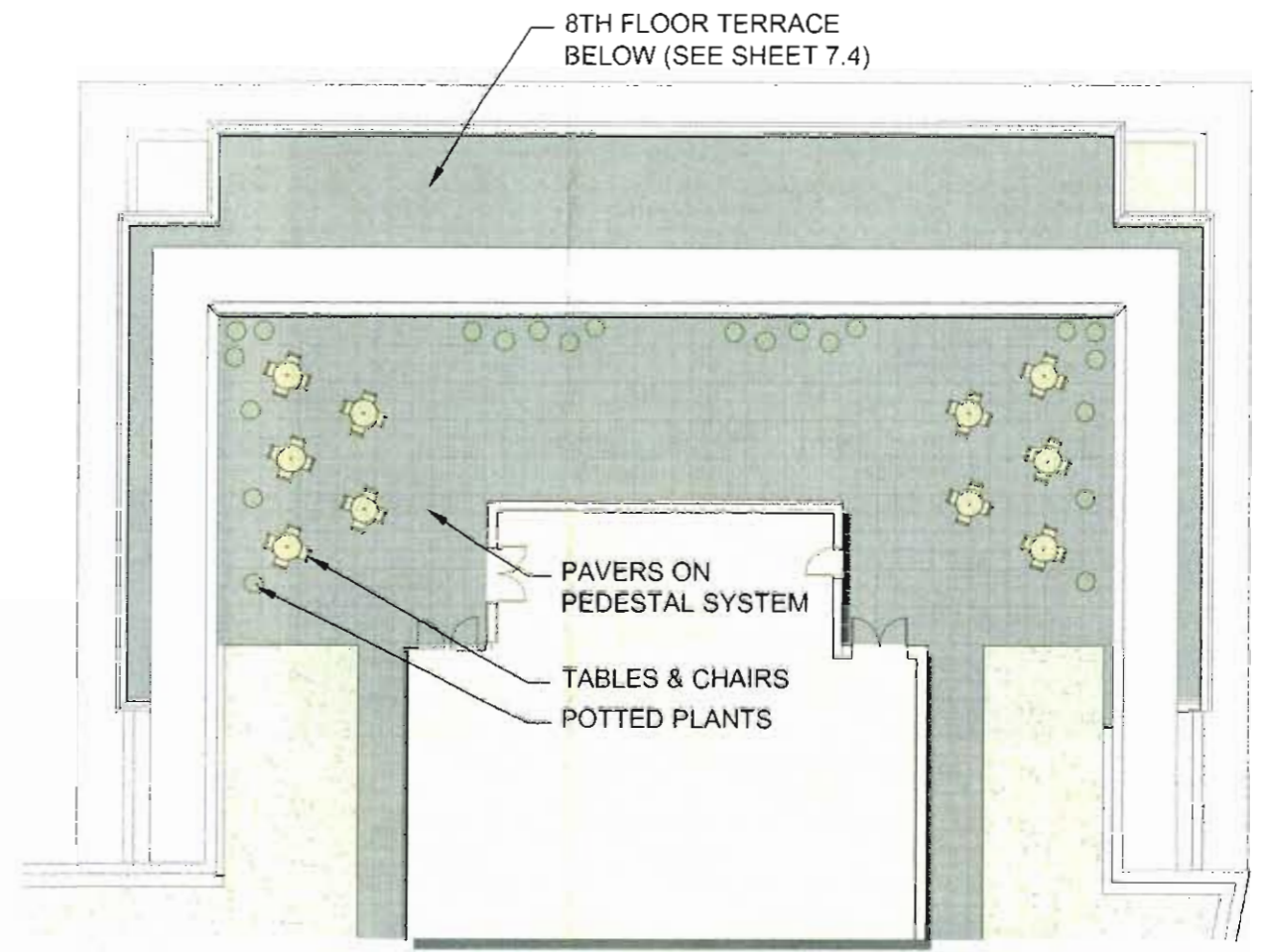
ROOFTOP SEATING



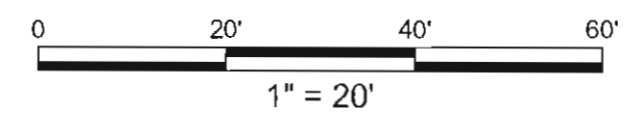
WALL-MOUNTED GREENSCREEN



1 WEST ROOF TERRACE PLAN
SCALE: 1" = 20'



2 EAST ROOF TERRACE PLAN
SCALE: 1" = 20'





PRECAST CONCRETE PAVERS
ON PEDESTAL



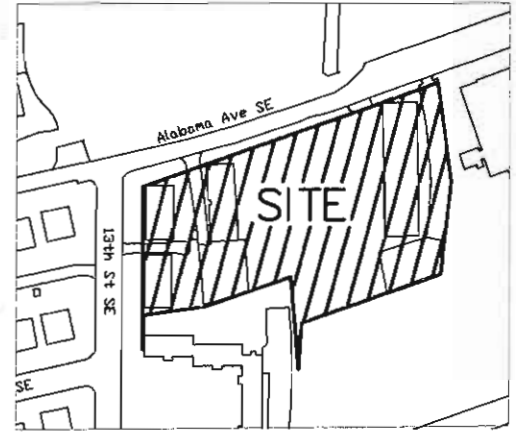
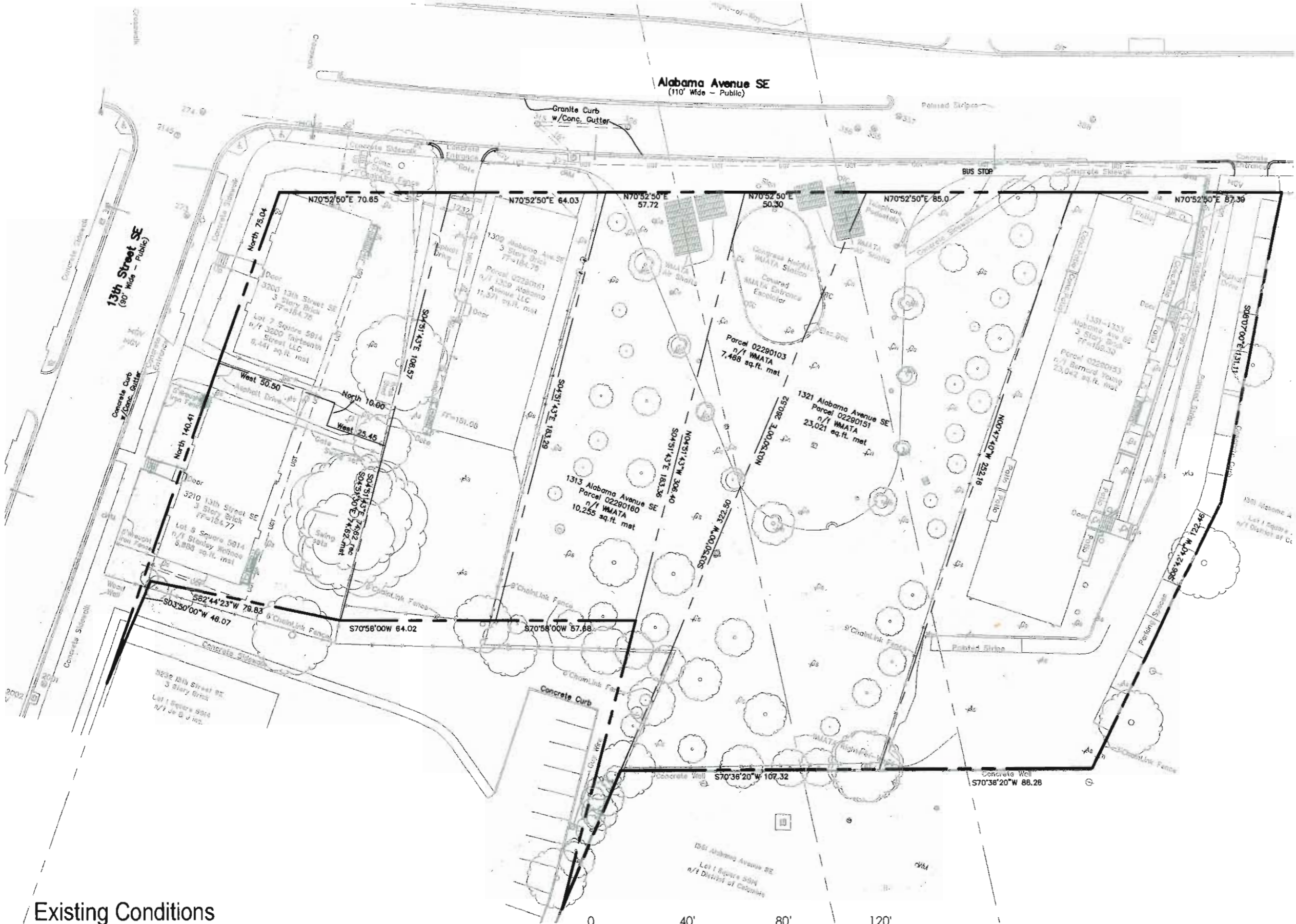
GREEN ROOF PLANTINGS -
SEDUM CARPET



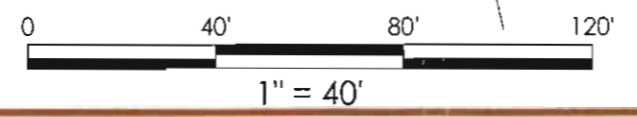
INTENSIVE GREEN ROOF PLANTINGS



POTTED PLANTERS



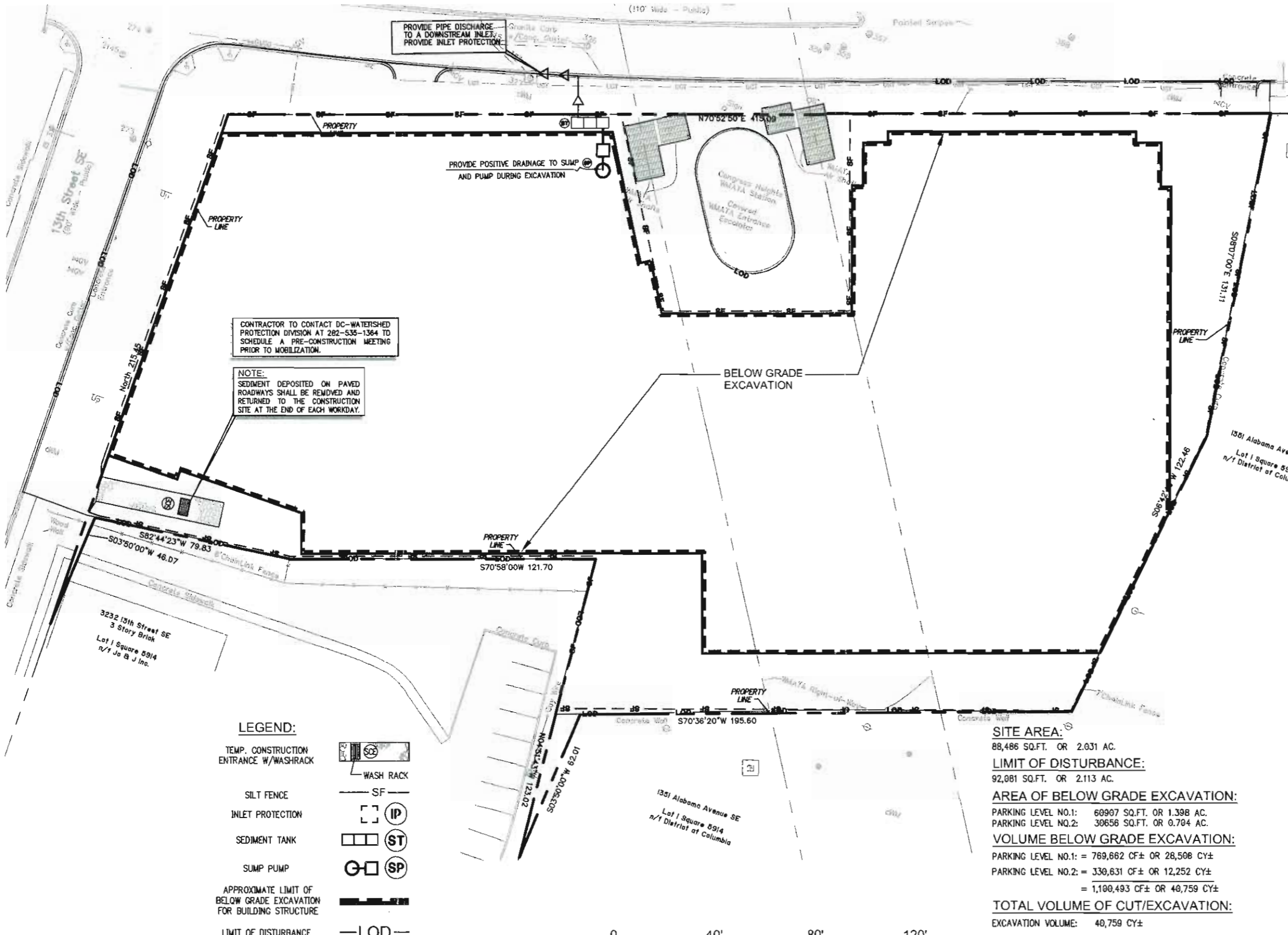
VICINITY MAP
SCALE: 1"=250'



Existing Conditions
Congress Heights
 Square 5914, LLC



maurice walters architect



- LEGEND:**
- TEMP. CONSTRUCTION ENTRANCE W/WASHRACK
 - WASH RACK
 - SILT FENCE
 - INLET PROTECTION
 - SEDIMENT TANK
 - SUMP PUMP
 - APPROXIMATE LIMIT OF BELOW GRADE EXCAVATION FOR BUILDING STRUCTURE
 - LIMIT OF DISTURBANCE

SITE AREA:
88,486 SQ.FT. OR 2.031 AC.

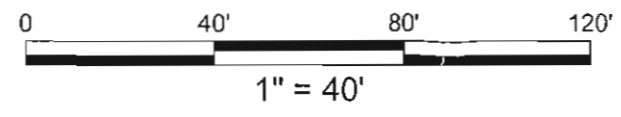
LIMIT OF DISTURBANCE:
92,081 SQ.FT. OR 2.113 AC.

AREA OF BELOW GRADE EXCAVATION:
PARKING LEVEL NO.1: 60907 SQ.FT. OR 1.398 AC.
PARKING LEVEL NO.2: 30656 SQ.FT. OR 0.704 AC.

VOLUME BELOW GRADE EXCAVATION:
PARKING LEVEL NO.1: = 769,662 CF± OR 28,508 CY±
PARKING LEVEL NO.2: = 330,631 CF± OR 12,252 CY±
= 1,100,493 CF± OR 40,759 CY±

TOTAL VOLUME OF CUT/EXCAVATION:
EXCAVATION VOLUME: 40,759 CY±

VOLUME OF FILL: 0.00 CY



- CONSTRUCTION AND STABILIZATION SEQUENCE:**
1. INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING STABILIZED CONSTRUCTION ENTRANCE, WASH RACK, INLET PROTECTION, SILT FENCE, STRAW BALE DIKE, AS INDICATED ON THIS SHEET. SEE SHEET C-501 FOR SEDIMENTATION AND EROSION CONTROL DETAILS.
 2. SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.
 3. REMOVE ITEMS AS INDICATED ON DEMOLITION PLAN.
 4. INSTALL SITE IMPROVEMENTS AS INDICATED ON CONSTRUCTION DOCUMENTS FOR THE PROPOSED BUILDING.
 5. AT THE COMPLETION OF CONSTRUCTION AND AFTER THE INSPECTOR'S APPROVAL, ALL TEMPORARY SALUTATION, SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED.

- DUST CONTROL NOTES:**
1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
 2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
 3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
 4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
 5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE;
 - B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
 - C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
 6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES;
 - B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OF OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
 - C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

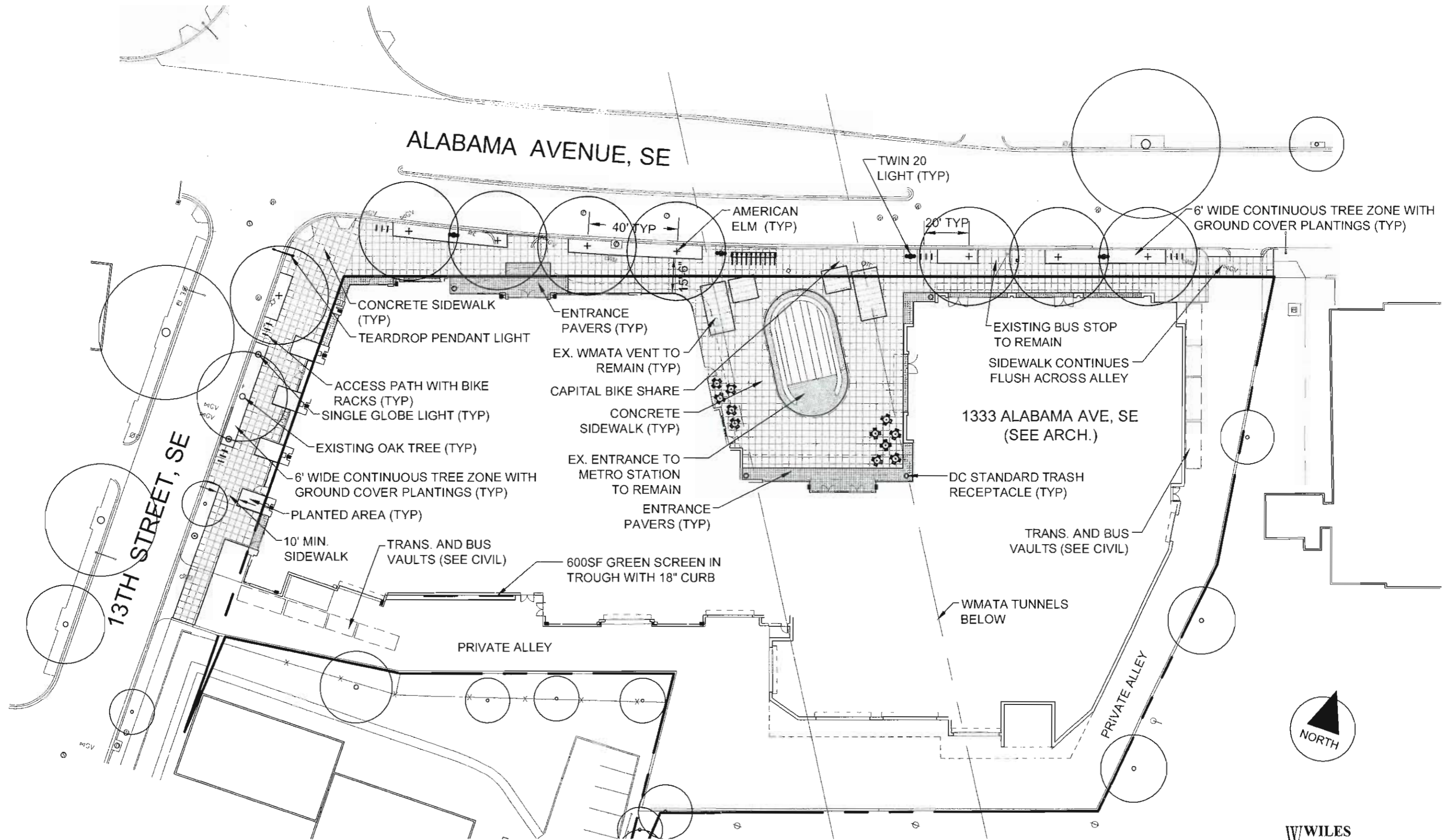
- EROSION AND SEDIMENTATION CONTROL NOTE:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF SHEETING AND SHORING AN SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES. SHORING, BRACING, AN UNDERPINNING DESIGNED BY THE CONTRACTOR'S STRUCTURAL ENGINEER LICENSED IN THE DISTRICT OF COLUMBIA SHALL BE PROVIDED AS NECESSARY TO ENSURE THEIR SUPPORT.
 2. PROVIDE SILT FENCE AT PERIMETER OF EXCAVATION AREA TO REMAIN IN PLACE UNT BELOW GRADE EXCAVATION HAS BEGUN UNLESS OTHERWISE APPROVED BY THE INSPECTOR.
 3. PROVIDE CONSTRUCTION FENCE AT PERIMETER OF EXCAVATION AREA TO REMAIN IN PLACE UNLESS OTHERWISE APPROVED BY THE INSPECTOR.
 4. CONTRACTOR TO PROVIDE ON SITE APPROVED STAMPED AND SIGNED SEDIMENTATION AN EROSION CONTROL DRAWINGS BY DEPARTMENT OF THE ENVIRONMENT, WATERSHE PROTECTION DIVISION.
 5. THE APPLICANT MUST NOTIFY THE DEPARTMENT OF ENVIRONMENT BY PHON (202-535-2240) AT LEAST 24 HOURS PRIOR TO THE START OF GRADING ACTIVITY AN WITHIN (2) WEEKS AFTER COMPLETION OF PROJECT TO REQUEST INSPECTION. IF THERE I NEED TO MAKE CHANGES OR MODIFICATIONS IN THE APPROVED DESIGN, DEPARTMENT C ENVIRONMENT MUST BE NOTIFIED IMMEDIATELY.

THIS SHEET IS FOR
EROSION AND SEDIMENTATION
CONTROL PURPOSES ONLY!!!



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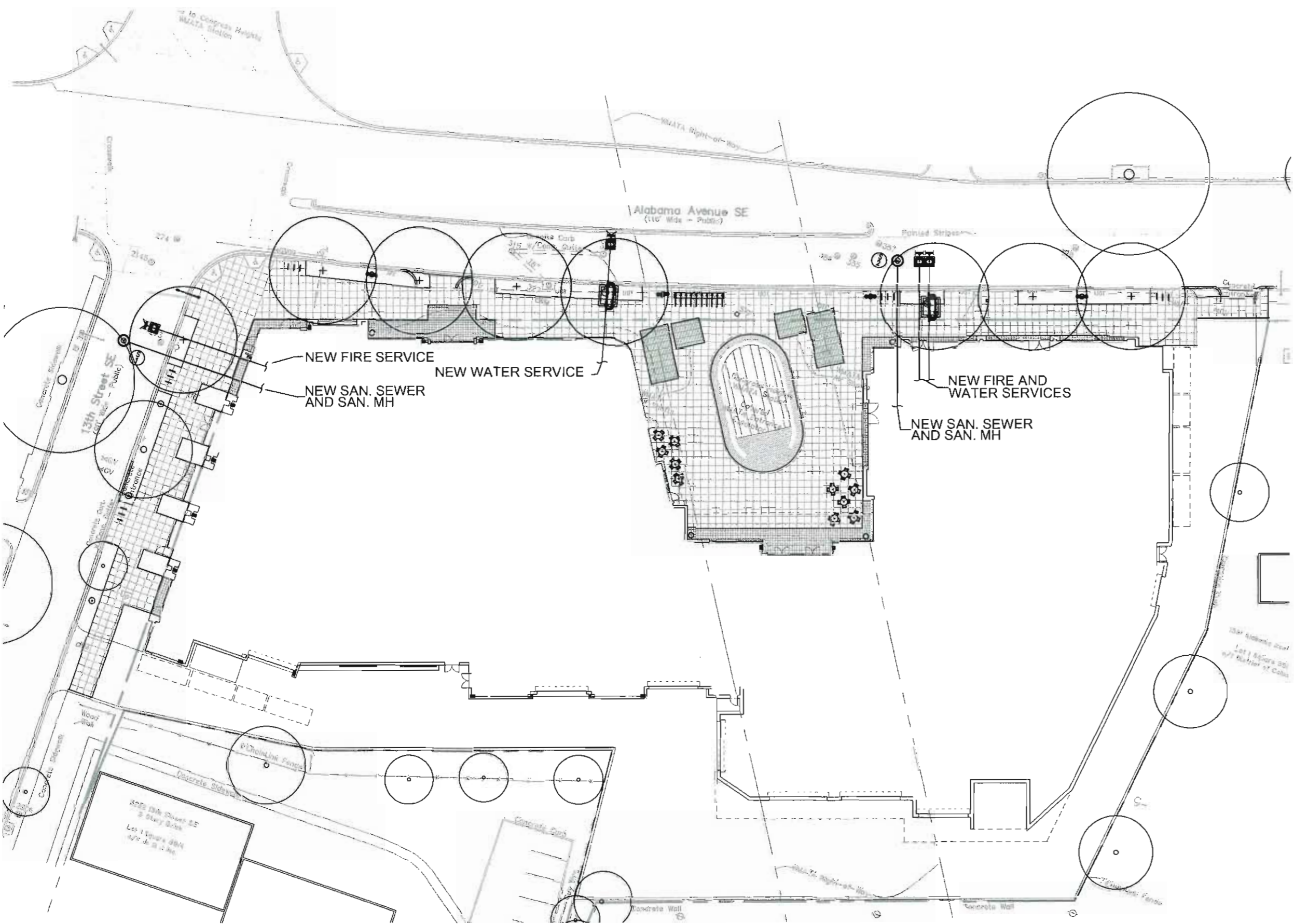
E&S Plan
Congress Heights
Square 5914, LLC



STORM WATER MANAGEMENT NARRATIVE:

1. The site is located in an urban area with a high density of buildings and paved surfaces. The site is bounded by Alabama Avenue SE to the north and 13th Street SE to the west. The site is situated on a slight slope towards the south. The site is currently undeveloped and is surrounded by existing buildings and parking lots. The site is located in a flood plain area and is subject to flooding during heavy rain events. The site is located in a high density urban area and is surrounded by existing buildings and parking lots. The site is situated on a slight slope towards the south. The site is currently undeveloped and is surrounded by existing buildings and parking lots. The site is located in a flood plain area and is subject to flooding during heavy rain events. The site is located in a high density urban area and is surrounded by existing buildings and parking lots. The site is situated on a slight slope towards the south. The site is currently undeveloped and is surrounded by existing buildings and parking lots. The site is located in a flood plain area and is subject to flooding during heavy rain events.

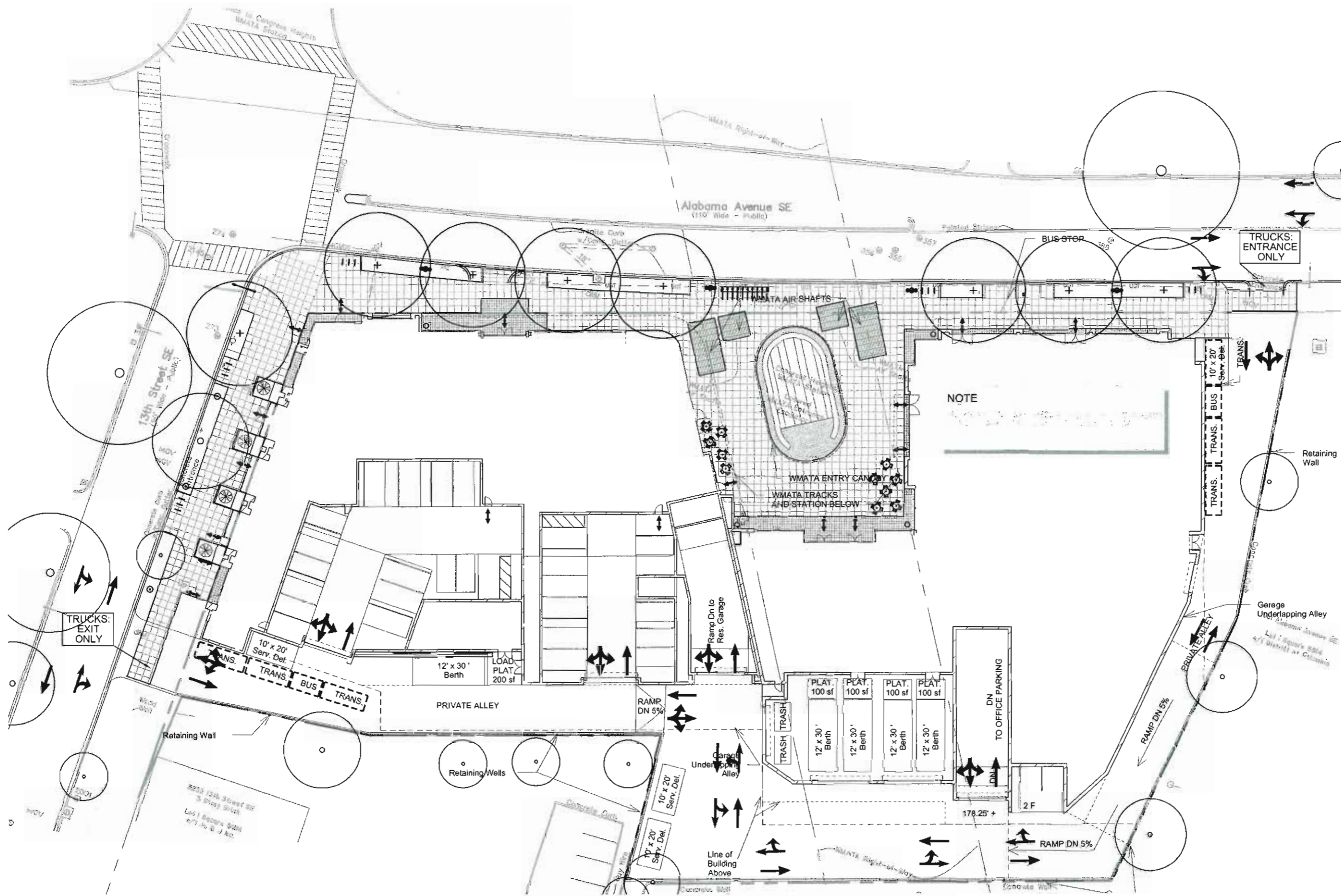
NOTE



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Utility Plan
Congress Heights
Square 5914, LLC

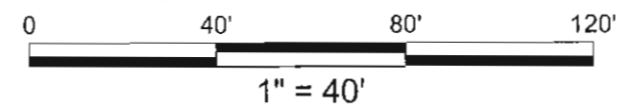


LEGEND

- VEHICULAR ACCESS →
- PEDESTRIAN ACCESS ⇄
- SERVICE VEHICULAR ACCESS ↕

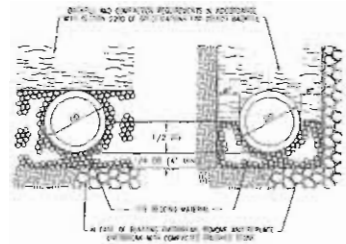


Circulation Plan
 Congress Heights
 Square 5914, LLC



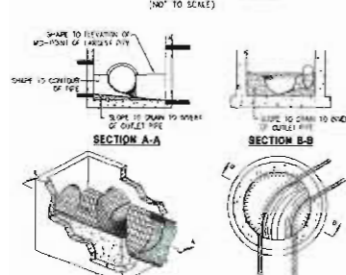
WILES MENSCH CORPORATION

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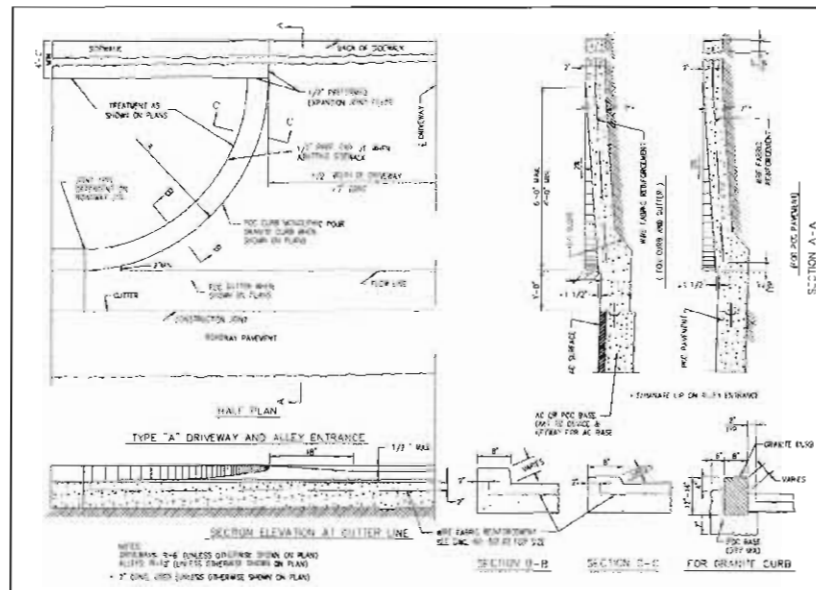
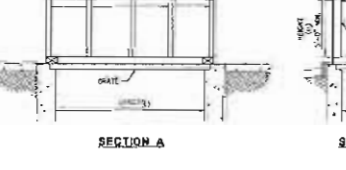
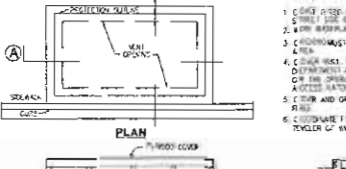
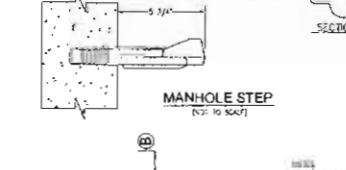
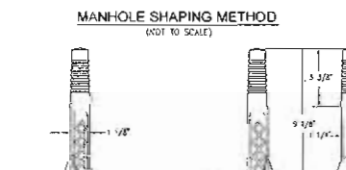


BACKFILL AT CROWN
 BACKFILL AT SIDEWALK

REINFORCED CONCRETE SHALL BE IN COMPLIANCE WITH THE FOLLOWING REQUIREMENTS:
 THE PAVEMENT SHALL BE CAREFULLY CONSTRUCTED WITH REINFORCING MATERIAL PLACED ON A
 1/2" THICK BRICK OR CONCRETE CURB. THE CURB SHALL BE 1/2" HIGH AND 1/2" WIDE.
 REINFORCING SHALL BE PLACED IN THE CURB AND SHALL BE 1/2" DIA. STEEL BARS.
 THE CURB SHALL BE 1/2" HIGH AND 1/2" WIDE. THE CURB SHALL BE 1/2" HIGH AND 1/2" WIDE.
 THE CURB SHALL BE 1/2" HIGH AND 1/2" WIDE. THE CURB SHALL BE 1/2" HIGH AND 1/2" WIDE.



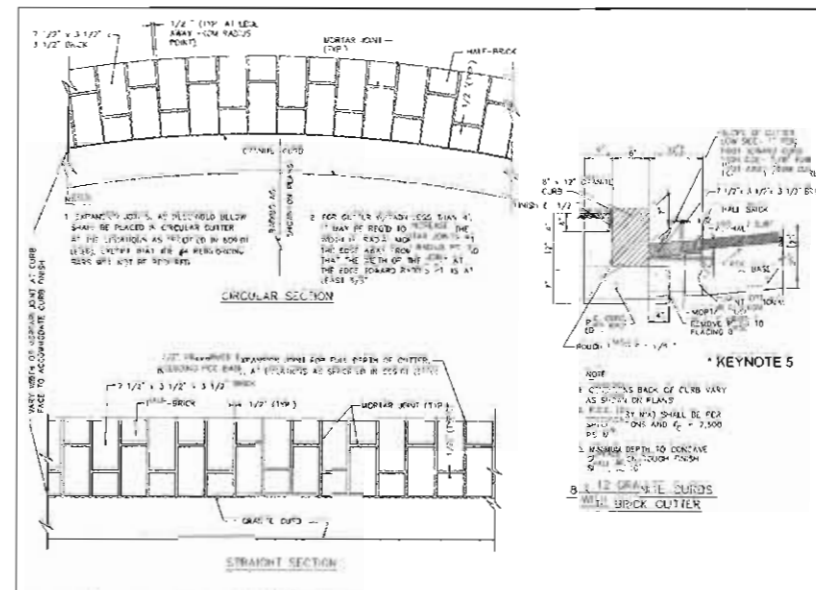
NOTES:
 1. CURB SHALL BE 1/2" HIGH AND 1/2" WIDE.
 2. CURB SHALL BE 1/2" HIGH AND 1/2" WIDE.
 3. CURB SHALL BE 1/2" HIGH AND 1/2" WIDE.
 4. CURB SHALL BE 1/2" HIGH AND 1/2" WIDE.
 5. CURB SHALL BE 1/2" HIGH AND 1/2" WIDE.
 6. CURB SHALL BE 1/2" HIGH AND 1/2" WIDE.



ALLEY-DRIVEWAY ENTRANCE WITH CURB RETURNS TYPE 'A'

APPROVED: [Signature]
 DATE: DECEMBER 10, 1999

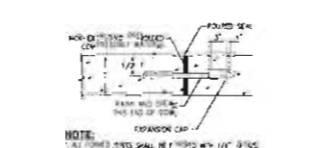
DESIGN AND ENGINEERING DIVISION



PATTERNS FOR BRICK GUTTER

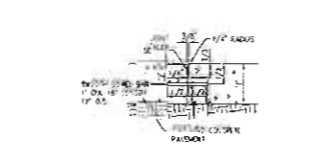
APPROVED: [Signature]
 DATE: DECEMBER 10, 1999

DESIGN AND ENGINEERING DIVISION



DOWELED TRANSVERSE EXPANSION JOINT FOR CONCRETE DRIVEWAY APRON

NOTE: 1. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 2. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 3. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.



CONTRACTION JOINT WITH LOAD TRANSFER FOR CONCRETE DRIVEWAY APRON

NOTE: 1. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 2. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 3. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.



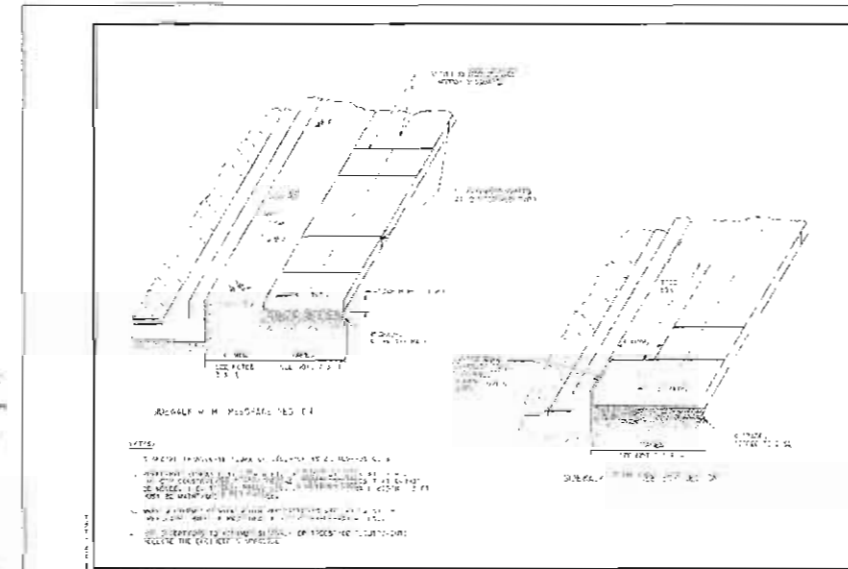
NEW ASPHALT PAVEMENT

NOTE: 1. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 2. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 3. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.



TYPICAL CONCRETE PAVEMENT DETAIL FOR DRIVEWAY ENTRANCE

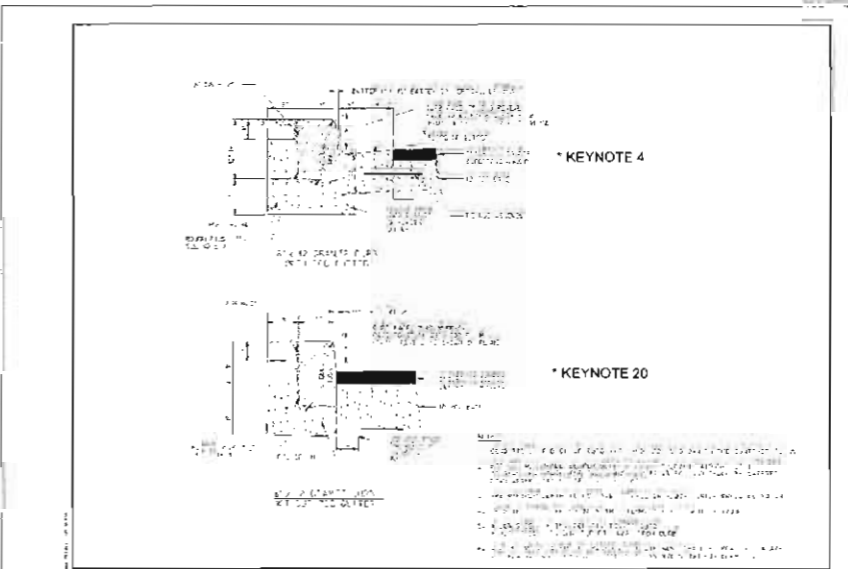
NOTE: 1. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 2. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 3. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.



TYPICAL SIDEWALK SECTIONS

APPROVED: [Signature]
 DATE: DECEMBER 10, 1999

DESIGN AND ENGINEERING DIVISION



TYPES OF GRANITE CURBS

APPROVED: [Signature]
 DATE: DECEMBER 10, 1999

DESIGN AND ENGINEERING DIVISION